



AGENDA
Wasaga Beach
Accessibility Advisory Committee
Meeting

Wednesday, April 2, 2025, 10:30 a.m.
Council Chambers

Pages

1. CALL TO ORDER

1.1 Land Acknowledgement

The Town of Wasaga Beach acknowledges it is located upon the traditional territory of the Anishnaabe people of the Three Fires Confederacy and the Wyandot Nation.

We respect the spiritual interconnection among these nations to the land and to the water, and acknowledge that waterways were the lifeblood of the Indigenous people by trade and hunting routes.

We are dedicated to inclusivity of First Nations, Inuit and Metis people in our future stewardship of the land and the longest freshwater beach in the world. In the spirit of reconciliation, we welcome the opportunity of learning to be sustainable caretakers of the land and waterways for all future generations.

2. DISCLOSURE OF PECUNIARY INTEREST

3. ADOPTION OF MINUTES

3.1 Accessibility Advisory Committee Meeting Minutes - February 19, 2025

4

Recommended Motion:

1. **THAT** the Accessibility Advisory Committee minutes of February 19, 2025 be adopted as presented.

3.2 Accessibility Advisory Committee Meeting Minutes - March 24, 2025

9

Recommended Motion:

1. **THAT** the Accessibility Advisory Committee Minutes of March 24, 2025 be adopted as presented.

4. DEPUTATIONS/PRESENTATIONS

5. UNFINISHED BUSINESS

5.1 Redesign of AccessAwareness Flag/Logo

Member Montgomery to provide update.

5.2 Video Promoting Accessible Features of the Town

Member Chapman to provide update.

5.3 2025 Seniors Expo - June 18, 2025

Chair Heyduk to provide update.

5.4 2025 University of Guelph Accessibility Conference

Member Weel to provide update.

5.5 Accessibility Advisory Committee Status update to Council

Committee Liaison to provide update.

6. SUB-COMMITTEE REPORTS

7. NEW BUSINESS

7.1 Simcoe County District School Board K - 12 - 486 River Road West - Site Plan Review

11

7.2 Costo - Lyons Court and Ramblewood Drive - Site Plan Review

19

7.3 Motion to Reconsider Accessibility Advisory Committee Meeting Dates

28

Recommended Motion:

1. Whereas the Wasaga Beach Accessibility Advisory Committee previously held monthly meetings as per the original process prior to the adjustment on September 4, 2024; and
2. Whereas Section 8.03(c) of the Procedure By-law allows for the reconsideration of the meeting schedule where the decision was made within a year of this motion; now therefore
3. Be It Resolved That the Wasaga Beach Accessibility Advisory Committee hereby returns to holding monthly meetings as per the original process prior to the adjustment on September 4, 2024.

7.4 Council Accessibility Advisory Committee Representative

Committee Liaison to provide update.

8. **ITEMS FOR FUTURE MEETINGS**

Fall Initiative - Thanksgiving Food Drive

Fall Initiative - 2026 Budget Considerations

9. **DATE OF NEXT MEETING**

May 7, 2025 at 9:30 am.

10. **ADJOURNMENT**



MINUTES
Wasaga Beach Accessibility Advisory Committee
Meeting

Wednesday, February 19, 2025, 9:00 a.m.
Council Chambers

Members Present: Fred Heyduk
Kerri Montgomery
Michelle Heyduk
Shelby Verkindt
Arlene Weel
Christine Chapman

Members Absent: Sasha-Rose Dileo

1. CALL TO ORDER

1.1 Land Acknowledgement

2. Appointment of Chair for 2025

Resolution No: AAC-2025-01

Moved by: Arlene Weel

Seconded by: Shelby Verkindt

1. **THAT** Member Fred Heyduk be appointed as Chair of the Accessibility Advisory Committee for the Town of Wasaga Beach for 2025.

CARRIED

3. DISCLOSURE OF PECUNIARY INTEREST

There were none.

4. ADOPTION OF MINUTES

4.1 Accessibility Advisory Committee Meeting Minutes - November 6, 2024

Resolution No: AAC-2025-02

Moved by: Christine Chapman

Seconded by: Shelby Verkindt

1. **THAT** the Accessibility Advisory Committee minutes of November 6, 2024 be accepted as presented.

CARRIED

4.2 Accessibility Advisory Committee Meeting Amended Minutes - September 4, 2024

Item 7.1 - Accessible Parking Fee Exemption for Members of the Public with Permits displayed was added to the minutes.

Resolution No: AAC-2025-03

Moved by: Kerri Montgomery

Seconded by: Arlene Weel

1. **THAT** the Amended Accessibility Advisory Committee minutes of September 4, 2024 be accepted as presented.

CARRIED

5. DEPUTATIONS/PRESENTATIONS

5.1 Roads Foreman - Update on Audible Crosswalks

The Committee Liaison provided an update on behalf of the Roads Foreman with respect to the audible crosswalks advising that there is currently Guardian Audible Crosswalks installed at: Village Gate/River Road West Intersection, River Road West/Zoo Park Intersection, River Road West/Walmart/Foodland Intersection, Mosley/45th intersection, Mosley/51st Crosswalk and Mosley/62nd Crosswalk. Staff continue to work on resolving equipment issues at both Mosley/51st Crosswalk and Mosley/62nd Crosswalk. For 2025, staff are working towards installing Guardian Audible crosswalks at River Road West/Ansley/Main Street Intersection as well as Main Street/Stonebridge Intersection.

6. UNFINISHED BUSINESS

6.1 Multi-Year Accessibility Plan 2022-2026

The Accessibility Advisory Committee discussed the draft Multi-Year Accessibility Plan 2022-2026. Based on Committee discussion, the Liaison will make recommended changes to the Plan.

Resolution No: AAC-2025-04

Moved by: Michelle Heyduk

Seconded by: Shelby Verkindt

1. **THAT** the Multi-Year Accessibility Plan 2022-2026 be received; and

2. **THAT** the Plan include an Accessible Video Initiative and an update to the Bicycle By-law for 2025.

CARRIED

6.2 Accessibility Advisory Committee Goals/Action Plan

The Committee Liaison provided an update on the Accessibility Advisory Committee Goals/Action plan.

6.3 2025 University of Guelph Accessibility Conference

Member Weel advised that as of the date of this meeting no further information with respect to the conference was available.

6.4 Redesign of Access Awareness Flag

The Accessibility Advisory Committee reviewed the proposed Access Awareness Flag/Logo design. The Committee was satisfied with the proposed design recommending that the colours be confirmed with a colour accessibility checker and words on the flag/logo are sentence case.

Resolution No: AAC-2025-05

Moved by: Michelle Heyduk

Seconded by: Christine Chapman

1. **THAT** the Accessibility Advisory Committee approve the redesign of the Access Awareness Flag/Logo and recommend that the design be forwarded to the Communications Department for comment and Council for approval.

CARRIED

6.5 Video Promoting Accessibility Features of the Town

Member Chapman provided the Committee with an update with respect to the video promoting accessibility features of the Town and recommended that the Committee provide an updated video based on new features. It was the consensus of the Committee that each member focus on one item based on new accessible features.

6.6 Spring 2025 Food Drive for Wasaga Beach Food Bank

The Committee Liaison provided the Committee with the proposed date of April 5, 2025 from 10 am to 1 pm to host the 2025 Spring Food Drive. Discussion was had with respect to inviting other Town Committee members to the event.

Resolution No: AAC-2025-06

Moved by: Christine Chapman
Seconded by: Arlene Weel

1. **THAT** the Accessibility Advisory Committee recommends that other Town Committee Members be invited to attend the Spring 2025 Easter Food Drive.

CARRIED

7. SUB-COMMITTEE REPORTS

There were none.

8. NEW BUSINESS

8.1 2025 Budget Update

The Committee Liaison provided the Committee with an update with respect to the 2025 budget including the capital items being approved by Council. The Committee Liaison indicated that the Town will be creating pamphlets with respect to the location of Mobi-Mats within Provincial Parks. The Committee provided recommendations including QR Codes, video and the possibility of including life jacket locations. The draft pamphlet will be brought back to the Committee for review.

The Committee Liaison confirmed that the Committee has received approval from the Clerk to obtain a new table cloth and magnifying glasses. It was the consensus of the Committee that the purchase of the table cloth and magnifying glass would wait until the flag/logo design was approved by Council so that it could be added to the items.

8.2 2025 Seniors Expo - June 18, 2025

The Committee discussed the upcoming 2025 Seniors Expo being held on June 18, 2025. Member Heyduk agreed to advise the organizers of the Expo that the Committee would be attending.

9. ITEMS FOR FUTURE MEETINGS

Fall Initiative - Thanksgiving Food Drive

9.1 Fall Initiative - 2025 Public School Accessible Awareness Education Visit

The Committee discussed whether it was feasible to host a 2025 Public School Accessible Awareness Education Visit and considered financial impacts, attendance, location and school protocols.

Resolution No: AAC-2025-07

Moved by: Shelby Verkindt
Seconded by: Arlene Weel

1. **THAT** the Accessibility Advisory Committee remove the 2025 Public School Accessible Awareness Education Visit from the Fall Initiatives and Multi-Year Accessibility Plan Initiatives; and
2. **THAT** the Accessibility Advisory Committee recommend that diversity, equity, and inclusion awareness programs during local government week be included within the 2025 Initiatives within the Multi-Year Accessibility Advisory Plan.

CARRIED

9.2 Fall Initiative - 2025 Great Northern Exhibition Booth

The Committee discussed whether it would be feasible to attend the 2025 Great Northern Exhibition Booth and considered financial impacts, attendance and location.

Resolution No: AAC-2025-08

Moved by: Christine Chapman

Seconded by: Michelle Heyduk

1. **THAT** the Accessibility Advisory Committee remove the 2025 Great Northern Exhibition Booth from the Fall Initiatives and Multi-Year Accessibility Plan.

CARRIED

10. DATE OF NEXT MEETING

Next Regular Meeting Scheduled for April 2, 2025.

11. ADJOURNMENT

Chair Heyduk adjourned the meeting at 11:35 am.



MINUTES

Wasaga Beach Accessibility Advisory Committee Meeting

Monday, March 24, 2025, 10:30 a.m.
Council Chambers

Members Present: Fred Heyduk
Sasha-Rose Dileo
Kerri Montgomery
Michelle Heyduk
Shelby Verkindt

Members Absent: Arlene Weel
Christine Chapman

1. **CALL TO ORDER**

1.1 Land Acknowledgement

2. **DISCLOSURE OF PECUNIARY INTEREST**

There were none.

3. **DEPUTATIONS/PRESENTATIONS**

3.1 **Lee Furlotte, Parks Manager and Mike Kitchen from ABC Recreation Ltd. - Blueberry Trails Playground Concept**

The Parks Manager introduced the presentation by Mike Kitchen from ABC Recreation Ltd. and answered questions of the Committee.

Mike Kitchen from ABC Recreation Ltd. presented the Blueberry Trails Playground concept to the Committee including a video showing the accessible features.

The Committee provided recommendations with respect to additional shade structures, request for path of travel around play area, benching under trees and requested play surface be changed from blue to green for visual contrast.

Resolution No: AAC-2025-09

Moved by: Kerri Montgomery

Seconded by: Shelby Verkindt

1. **THAT** the presentation by the Parks Manager and Mike Kitchen from ABC Recreation Ltd. to the Accessibility Advisory Committee pertaining to Blueberry Trails Playground Concept be received.

CARRIED

3.2 Lee Furlotte, Parks Manager, Jake Hoogstraten, Playpower Limited - Redesign of Sunnidale Trails Park Development

The Parks Manager introduced the presentation by Jake Hoogstraten from Playpower Limited and answered questions of the Committee.

Jake Hoogstraten from Playpower Limited presented the redesign of Sunnidale Trails Park Development concept to the Committee.

The Committee provided recommendations to consider rubberized play surface in the future.

Resolution No: AAC-2025-

Moved by: Michelle Heyduk

Seconded by: Sasha-Rose Dileo

1. **THAT** the presentation by the Parks Manager and Jake Hoogstraten to the Accessibility Advisory Committee pertaining to the redesign of Sunnidale Trails Park Development be received.

CARRIED

4. DATE OF NEXT MEETING

5. ADJOURNMENT

Chair Heyduk adjourned the meeting at 11:54 am.



Wasaga Beach K-12 Catholic School and Community Theatre

Project Address, City, Ontario Postal Code

ISSUED FOR SITE PLAN APPROVAL - SUBMISSION 1 - February 21st, 2025

CONSULTING TEAM

ARCHITECTURAL

SALTER PILON ARCHITECTURE INC.
151 FERRIS LANE, SUITE 400
BARRIE, ONTARIO
L4M 6C1
T: 705-737-3530
F: 705-737-3539

STRUCTURAL

TACOMA ENGINEERS INC.
570 BRYNE DR
BARRIE, ONTARIO
L4N 9P6
T: 705-735-1875

MECHANICAL / ELECTRICAL

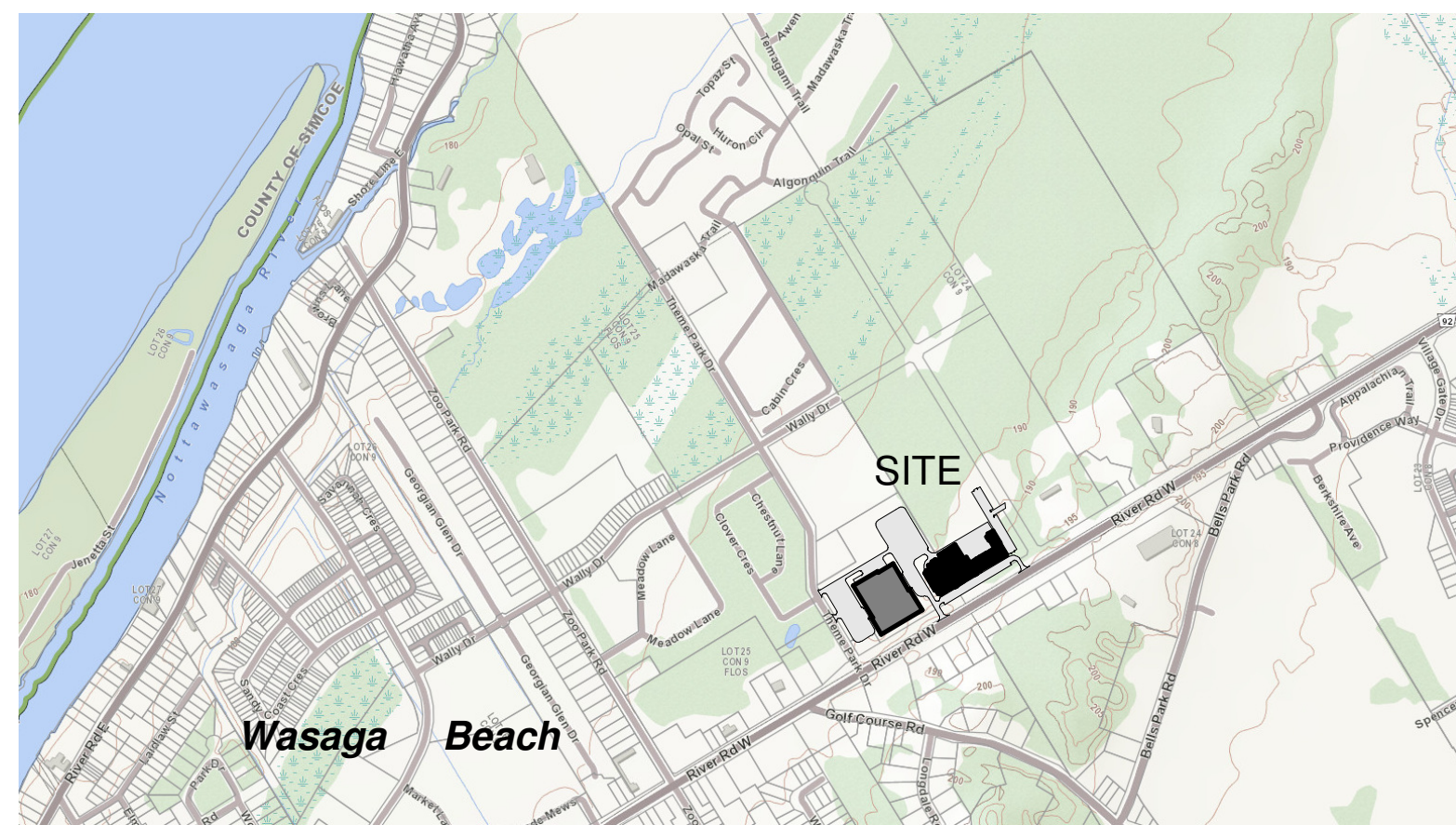
DEI CONSULTING ENGINEERS
55 NORTHLAND RD
WATERLOO, ONTARIO
N2V 1Y8
T: 519-725-3555

CIVIL

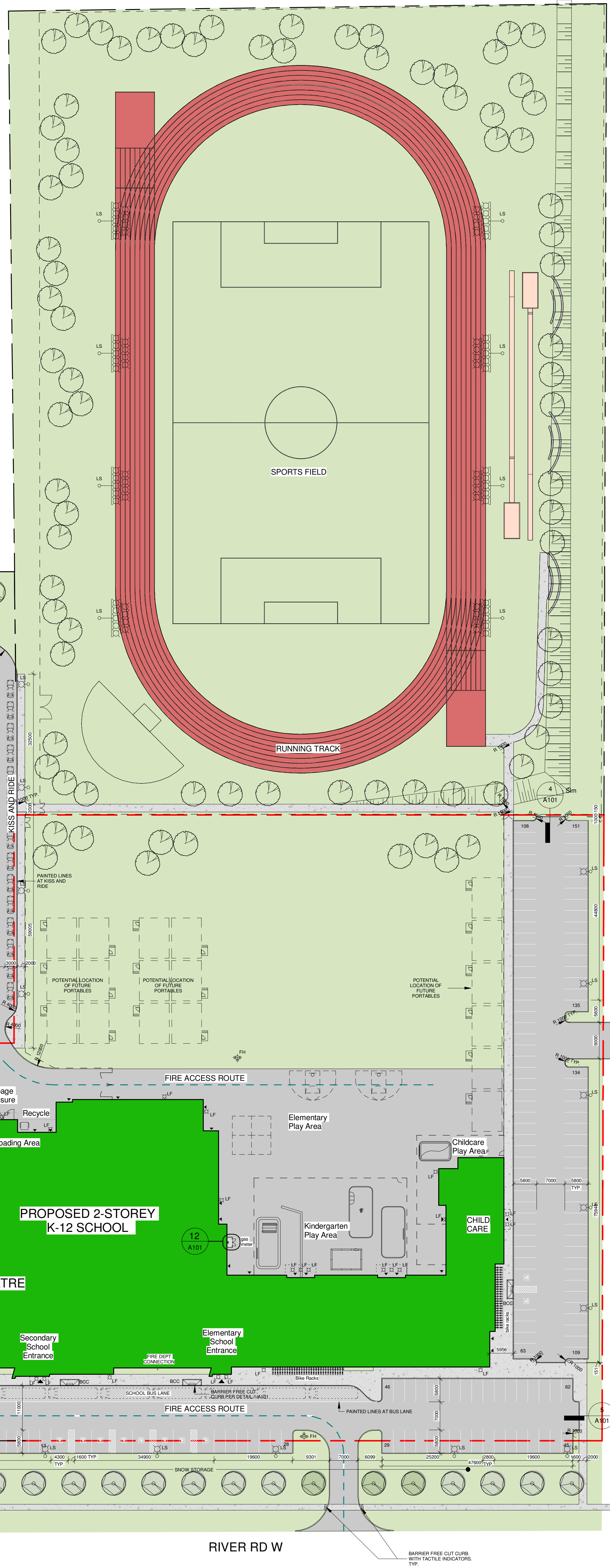
CROZIER CONSULTING ENGINEERS
70 HURON ST SUITE 100
COLLINGWOOD, ONTARIO
L9Y 4L4
T: 705-446-3510

LANDSCAPE

HILL DESIGN STUDIO INC.
1601 RIVER ROAD E #303
KITCHENER, ONTARIO
N2A 3YA
T: 226-686-0700



2 Key Plan
N.T.S.



SITE PLAN GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXTENT OF CONTRACT LINE INDICATED ON THE SITE PLAN PLUS ANY WORK SPECIFICALLY NOTED OUTSIDE OF THAT LINE. ALL WORK DONE OUTSIDE OF THESE LIMITS IS AT THE CONTRACTOR'S RISK AND SHALL BE AT THE CONTRACTOR'S RISK AND SHALL BE AT THE CONTRACTOR'S RISK.
- CONTRACTOR IS TO RESTRICT ALL WORK, EQUIPMENT, AND MATERIALS STORED TO AREAS WITHIN THE EXTENT OF CONTRACT LINE. ANY WORK NOTED OTHERWISE, PRIMARY SITE ACCESS POINT A CONSTRUCTION PARKING IS TO BE CONFINED WITHIN THE CONTRACT LINE.
- LOCATE LOCATED MATERIALS & TROUBLE AREAS AS DIRECTED. AT COMPLETION OF PROJECT ANY EXCESS MATERIAL IS TO BE REMOVED AND RE-AREA MADE GOOD TO ARCHITECT'S SATISFACTION.
- FOR TRENCHING & BACKFILLING OF ALL SERVICE LINES AND DIVISION OF RESPONSIBILITY, REFER TO APPROPRIATE SECTIONS IN SPECIFICATIONS.
- IF ANY AND ALL WORK IS TO BE DONE UNDERGROUND, ALL SPOOLED AND PLANTER AREAS INDICATED ON DRAWINGS, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED AND ABOVE TOPSOIL, COVER PLANTER AREAS. PROVIDE SOILING TO AREAS INDICATED AND TERMINATE AT EXTENT OF CONTRACT LINE. SEE SPECIFICATIONS BY PROPERTY LINES TO TYPICAL CONTRACT LINE.
- NOTE THAT EXACT LOCATIONS OF ALL NEW MECHANICAL & ELECTRICAL ITEMS ARE APPROXIMATE UNLESS DIMENSION GIVEN. ADJUST LOCATION AS REQUIRED AND AS APPROVED BY CONSULTANT TO SITE CONDITIONS.
- NOTE THAT ALL MECHANICAL AND ELECTRICAL UNDERGROUND SERVICE LINES INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION SUPPLIED. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT TYPES, LOCATIONS AND DEPTHS OF ALL UNDERGROUND SERVICES IN AREA OF NEW CONSTRUCTION. REFER TO SPECIFICATIONS BY PROPERTY LINES TO TYPICAL CONTRACT LINE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES AND TO ALL ADJACENT PROPERTIES.
- REFER TO CIVIL DRAWINGS FOR SITE SERVICES AND GRADING, EROSION AND SEDIMENT CONTROL, STORM WATER MANAGEMENT AND DRAINAGE, AND ANY OTHER RELATED WORKS.
- REFER TO MECHANICAL DRAWINGS FOR PLANTING, SCHEDULING, TREE AND SHRUB LAYOUT / SCHEDULE INCLUDING PRESERVATION AND REMOVAL, PAINT, LAYOUT, SITE AMENITIES, AND ANY OTHER RELATED WORKS.
- REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING, POWER, CISTERNS, AND ANY OTHER RELATED WORKS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DRAWINGS FROM ALL DISCIPLINES. ALL DRAWINGS ARE TO BE CHECKED AND VERIFIED ON THE JOB. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT. ALL DRAWINGS REMAIN THE PROPERTY OF THE CONSULTANT. ONLY LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

SITE PLAN LEGEND:

- POLE MOUNTED LIGHT STANDARD AS PER ELEC. DWGS
- PROPERTY LINE / EXTENT OF CONTRACT
- PART LOT / EASEMENT LINE
- FIRE ACCESS ROUTE
- BENCH AS PER LANDSCAPE DWGS
- BIKE RACK AS PER LANDSCAPE DWGS
- PICNIC TABLE AS PER LANDSCAPE DWGS
- MAN-HOLE AS PER CIVIL DWGS
- CATCH BASIN / MAN-HOLE AS PER CIVIL DWGS
- FIRE HYDRANT AS PER CIVIL DWGS
- METAL BOLLARD
- POST MOUNTED SIGN
- BOREHOLE LOCATION
- IB / SIB PER SURVEY
- BARRIER FREE CUT CURB
- TRAFFIC CALMING BUMP
- BUILDING ENTRANCE
- BARRIER FREE BUILDING ENTRANCE
- ASPHALT PAVEMENT
- CONCRETE PAVING / SIDEWALK
- STAMPED CONCRETE
- HEAVY-DUTY ASPHALT
- GRASS / SOD
- EXISTING AREA TO REMAIN.

CHILD CARE - PRESCHOOL PLAY YARD
Area Required = 134.4m² (24x 5.6m)
Area Provided = 114 sqm

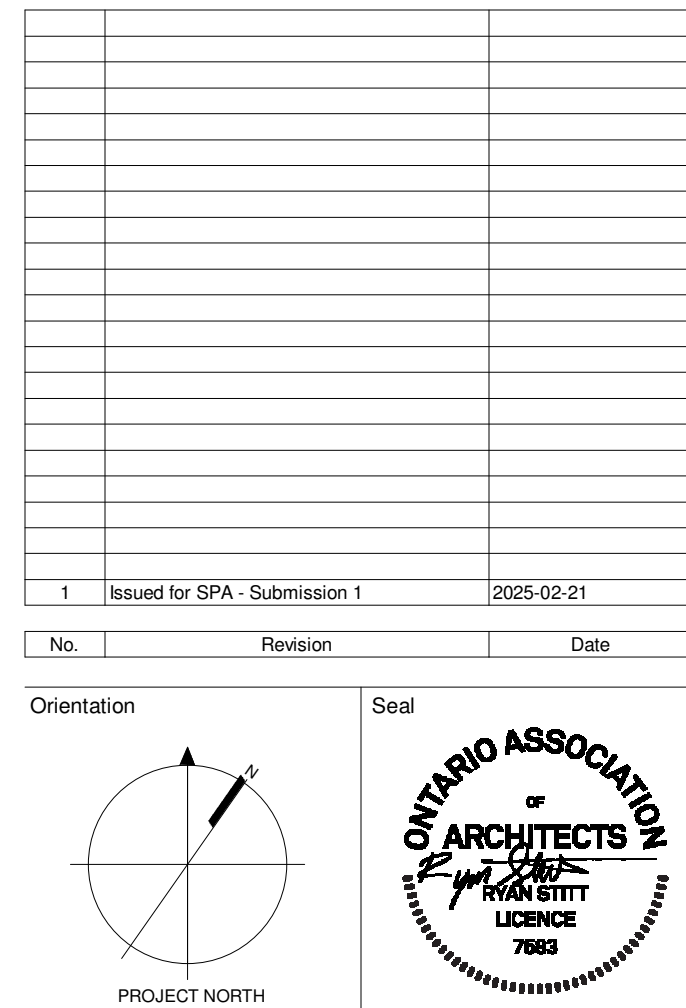
CHILD CARE - INFANT PLAY YARD
Area Required = 56.0m² (10x 5.6m)
Area Provided = 275 sqm

CHILD CARE - TODDLER PLAY YARD
Area Required = 84m² (15x 5.6m)
Area Provided = 822 sqm

PROJECT STATISTICS		
SITE SURVEY		
PART OF THE SOUTH HALF OF LOTS 24 AND 25 CONCESSORS 9 (SECTORS) TOWNSHIP OF FLOIS NOW THE TOWN OF WASAGA BEACH COUNTY OF SIMCOE		
SITE DESCRIPTION		
Zoning By-Law 2003-60 Zone Designation:		
BUILDING CLASSIFICATION		
Ontario Building Code 2012 - Part 3 Occupancy Classification - Group A, Division 2 (School with Child Care Facility) Two Storeys (Above Grade)		
BUILDING STATISTICS	EXISTING	PROPOSED
BUILDING AREA - FOOTPRINT	0.0 m ²	7 024.117 m ²
ACCESSORY STRUCTURE AREA - FOOTPRINT	0.0 m ²	0.0 m ²
TOTAL - FOOTPRINT	0.0 m ²	7 024.117 m ²
GROSS FLOOR AREA (Accessory Structure Not Included)	0.0 m ²	11 425.475 m ²
SITE STATISTICS		
ZONING - By-Law 84-63, Section 12 & Section 3.18	R1-42 - Urban Residential Type One	
LOT AREA (Min.)	465 m ²	29 774 m ²
LOT FRONTAGE - Interior Lot (Min.)	12.0 m	185.8m
FRONT YARD - South (Min.)	3 m	29.98m
INTERIOR SIDE YARD - West (Min.)	3 m	7.5m
REAR YARD - North (Min.)	7.6 m	15.46m
EXTERIOR SIDE YARD - East (Min.)	6 m	6m
CONCRETE AREA - Surfaced Walk	N/A	1 635.97m ²
ASPHALT AREA - Play Yard	N/A	3 577.76m ²
ASPHALT AREA - Parking & Drive Aisles	N/A	5 555.91m ²
LANDSCAPED AREA	N/A	8 980.24m ²
LANDSCAPE COVERAGE	30 %	33.54 %
LOT COVERAGE (Max.)	35 %	26.23 %
BUILDING HEIGHT (Max. to Top of Parapet)	15 m	12.4 m

PROJECT STATISTICS		
PARKING STATISTICS		
ZONING - By-Law 2003-60, Section 3.38		
PARKING SPACE SIZE	5.5 x 2.7 m	5.8 x 2.80 m
PARKING SPACE SIZE - Accessible w/Shared Access Aisle	5.7 x 3.4 x 1.5 m	5.8 x 3.4 x 1.5 m
PARKING AISLE - Two-way & One-way (Min.)	6.0 m	7.0 m
TOTAL PARKING SPACES	224	151
ELEMENTARY SCHOOL CALCULATION : Schools, Public and/or Private (Elementary)	78	57
2 spaces per classroom (partial classroom counts as one) = 2 x 27 = 54 spaces possible		
SECONDARY SCHOOL CALCULATION : Schools, Public and/or Private (Secondary)	126	80
6 x 3 spaces per classroom = 18 spaces per office = 114 spaces possible		
1 x 1 space per 100 sqm of floor area of the gymnasium (Open shared with Elementary School) = 811.42m ² / 100 = 8.11 spaces possible		
1 x 1 space per 100 sqm of gross floor area in the auditorium = 112.813m ² / 100 = 1.128 spaces possible		
CHILD CARE PARKING CALCULATION : Uses permitted by this By-Law other than those listed in the table	6	4
2 spaces per classroom = 2 x 3 = 6 spaces		
ACCESSIBLE PARKING CALCULATION :	8	10
BICYCLE PARKING CALCULATION : School	107	107
1 space per 100 square metres of gross floor area		

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9	OBC REFERENCE
1	PROJECT DESCRIPTION <input checked="" type="checkbox"/> NEW ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE	PART 3
2	MAJOR OCCUPANCY(S) SECONDARY SCHOOL, ELEMENTARY SCHOOL, CHILD CARE	3.2.2.24
3	BUILDING AREA (m ²) 7 024.117	1.1.3.2.
4	GROSS AREA (m ²) 11 425.475 (Level 1 + Level 2)	1.1.3.2.
5	NUMBER OF STOREYS 2 STOREY	3.2.1.1. & 1.1.3.2.
6	HEIGHT OF BUILDING (m) 12.4m	3.2.2.10. & 3.2.5.5.
7	NUMBER OF STREETS/ACCESS ROUTES 1	3.2.2.24
8	BUILDING CLASSIFICATION GROUP 'A' - DIVISION 2, up to 6 Storeys, Any Area, Sprinklered	3.2.2.24
9	SPRINKLER SYSTEM PROPOSED <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> ADDITION <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.24
10	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9.
11	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4.
12	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7.
13	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6.
14	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE	3.2.2.24 3.2.2.24
15	MEZZANINE(S) AREA (m ²) N/A	3.2.1.1.
16	OCCUPANT LOAD BASED ON <input type="checkbox"/> m ² / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING Group 'A' LOAD 1151 Persons	3.1.1.7.
17	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8.
18	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	M.2.1.21(i) & 3.3.1.19(1)
19	REQUIRED FIRE RESISTANCE RATING (FRR) FLOOR ASSEMBLIES 1 HOUR LOAD BEARING WALLS & COLUMNS 1 HOUR ROOF RATING N/A	3.2.2.24 3.2.2.24
20	SPATIAL SEPARATION N/A	3.2.3.



All dimensions to be checked and verified on the job by the Contractor. Any discrepancies are to be reported to the Consultant prior to action. Only the latest approved drawings to be used for construction in conformance with all applicable codes, by-laws and regulations. All drawings remain the property of the Consultant.

© Copyright Reserved:
These drawings and all that is represented herein are the exclusive property of Salterpilon Architecture Inc.
They may not be used or reproduced without written permission from Salterpilon Architecture Inc.

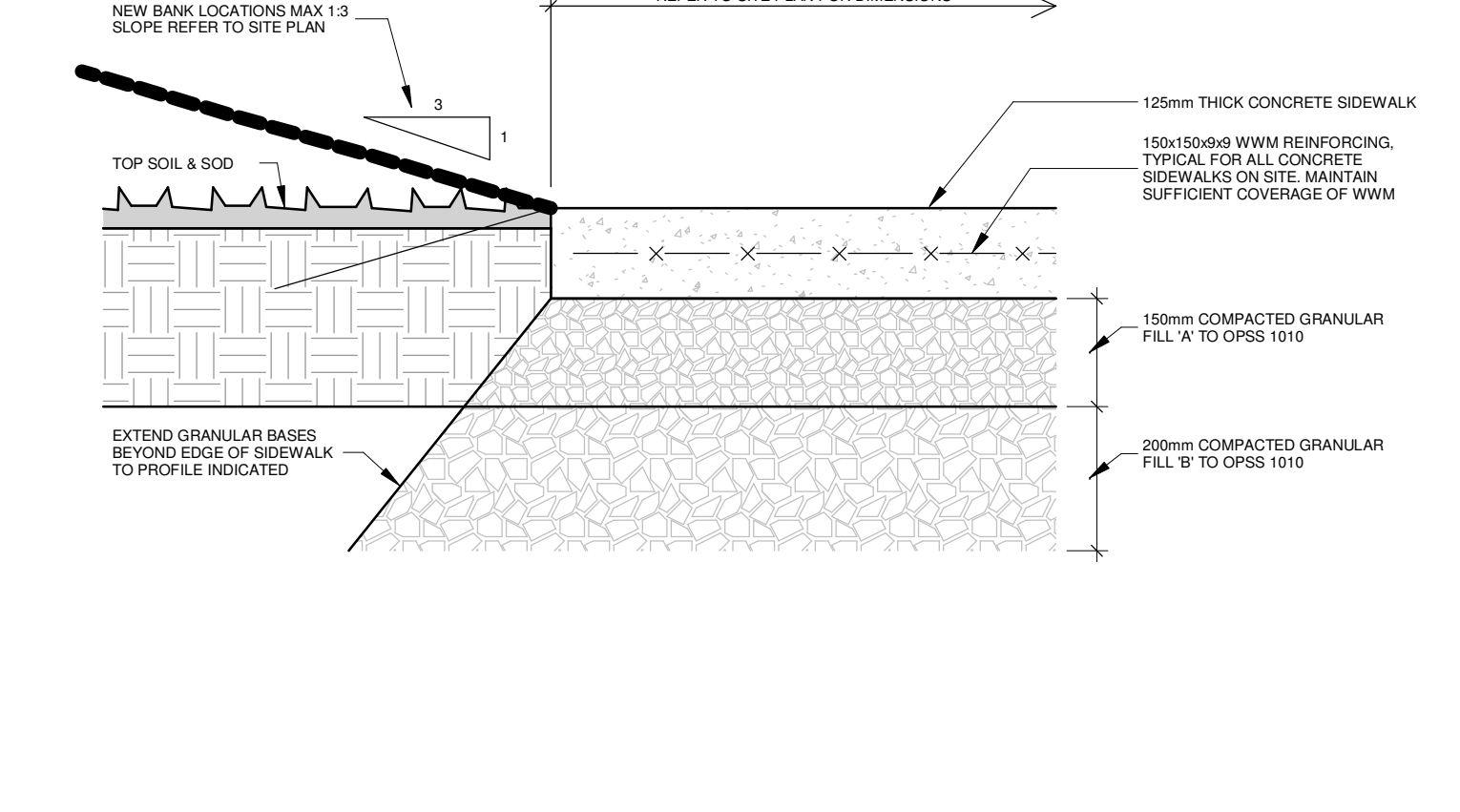
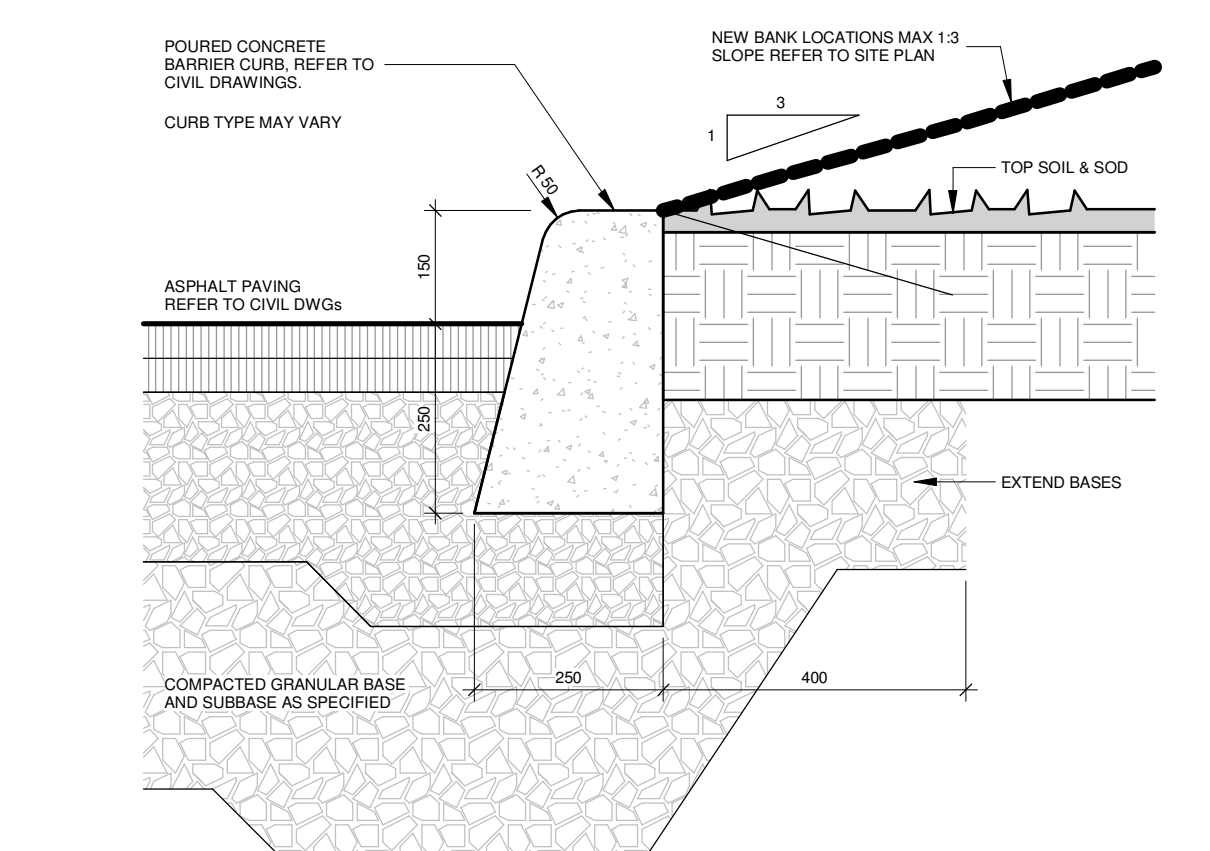
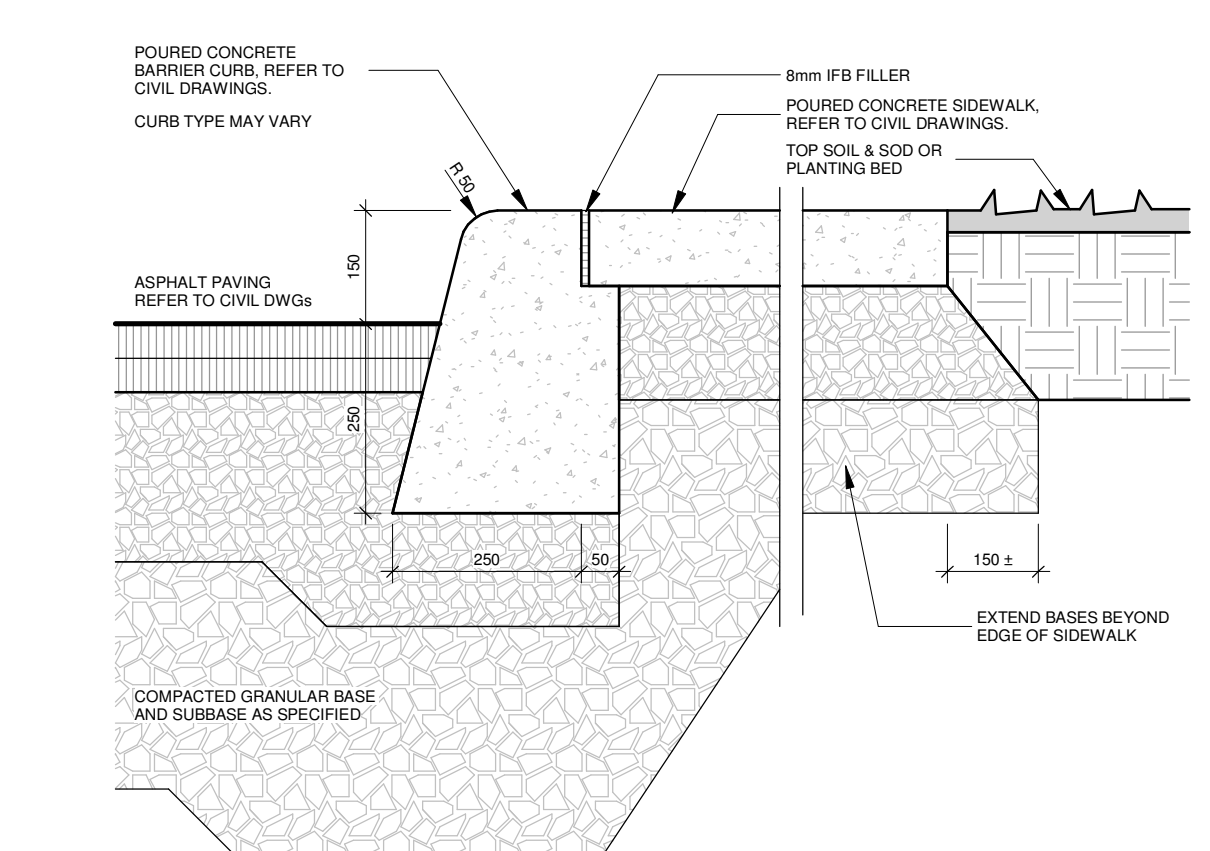
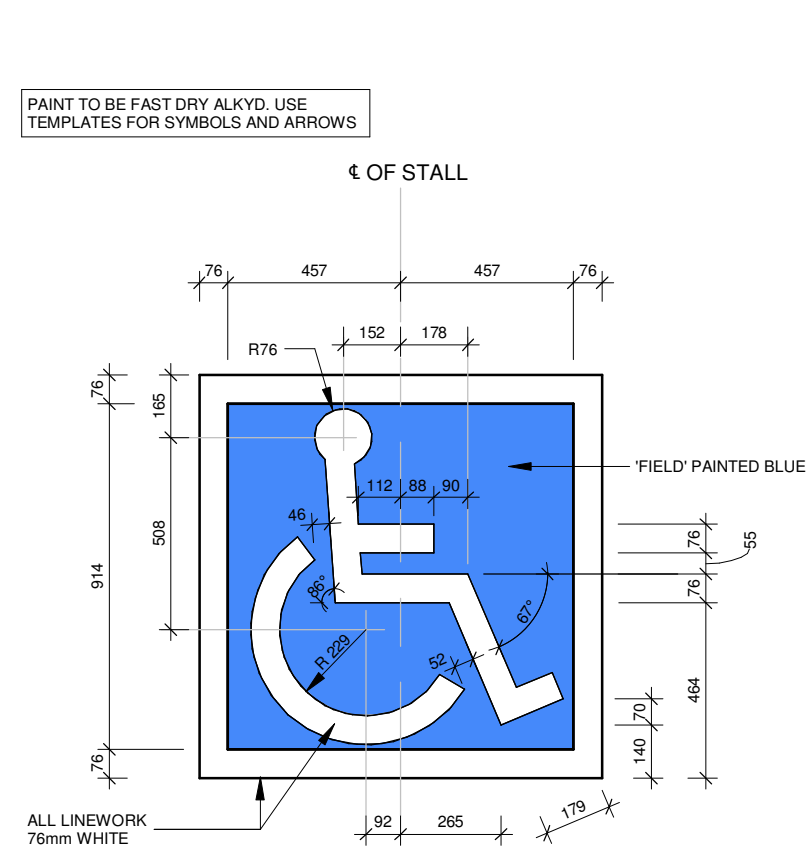
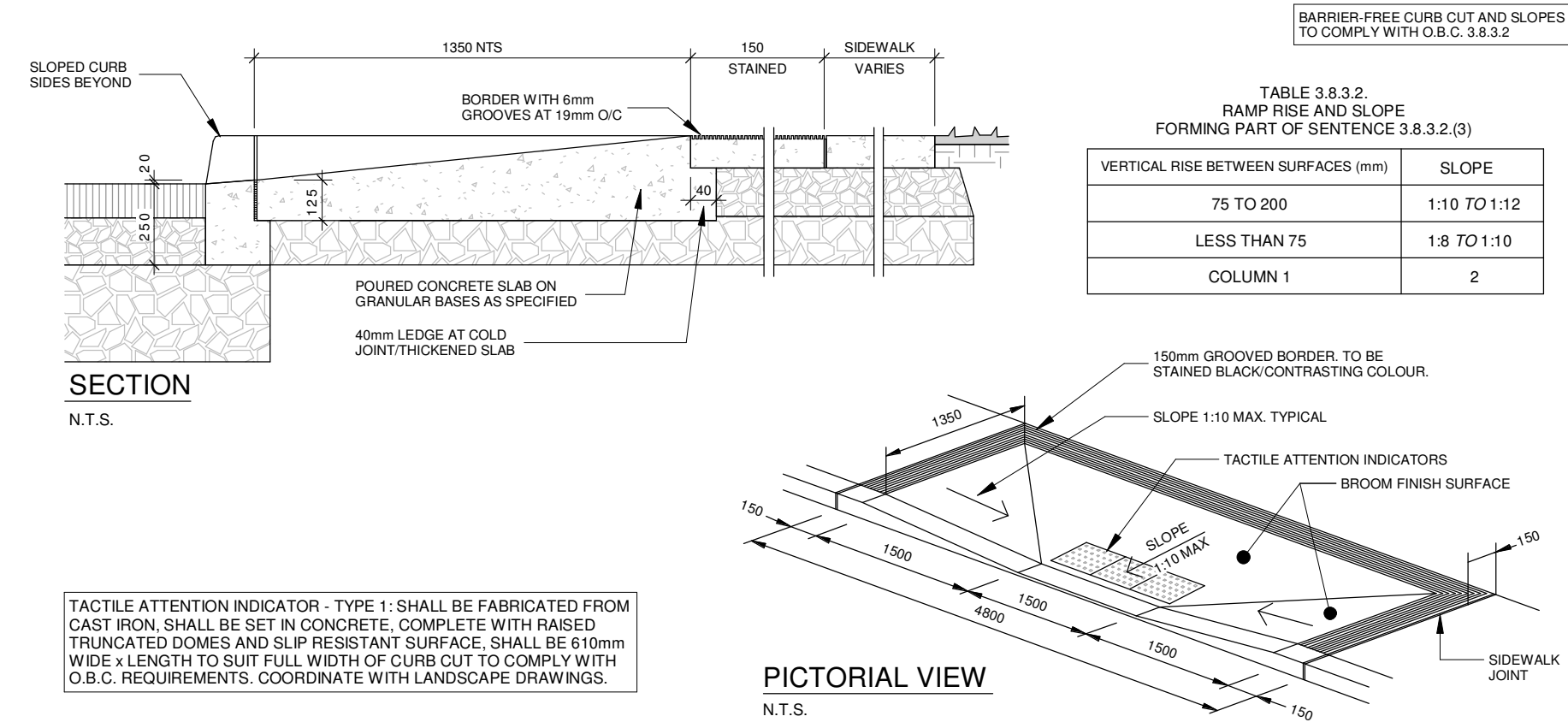


151 Ferris Lane, Suite 400 Barrie, Ontario L4M 6C1
salterpilon.com t: 705-737-3530

Project Information
Wasaga CSS & CES

River Road West, Wasaga Beach Ontario
For
SMCDSB
Drawing Title
Site Plan

Date	February 21, 2025	Project No	23019	Drawing No	A100
Drawn by	JJ				
Scale	As indicated				



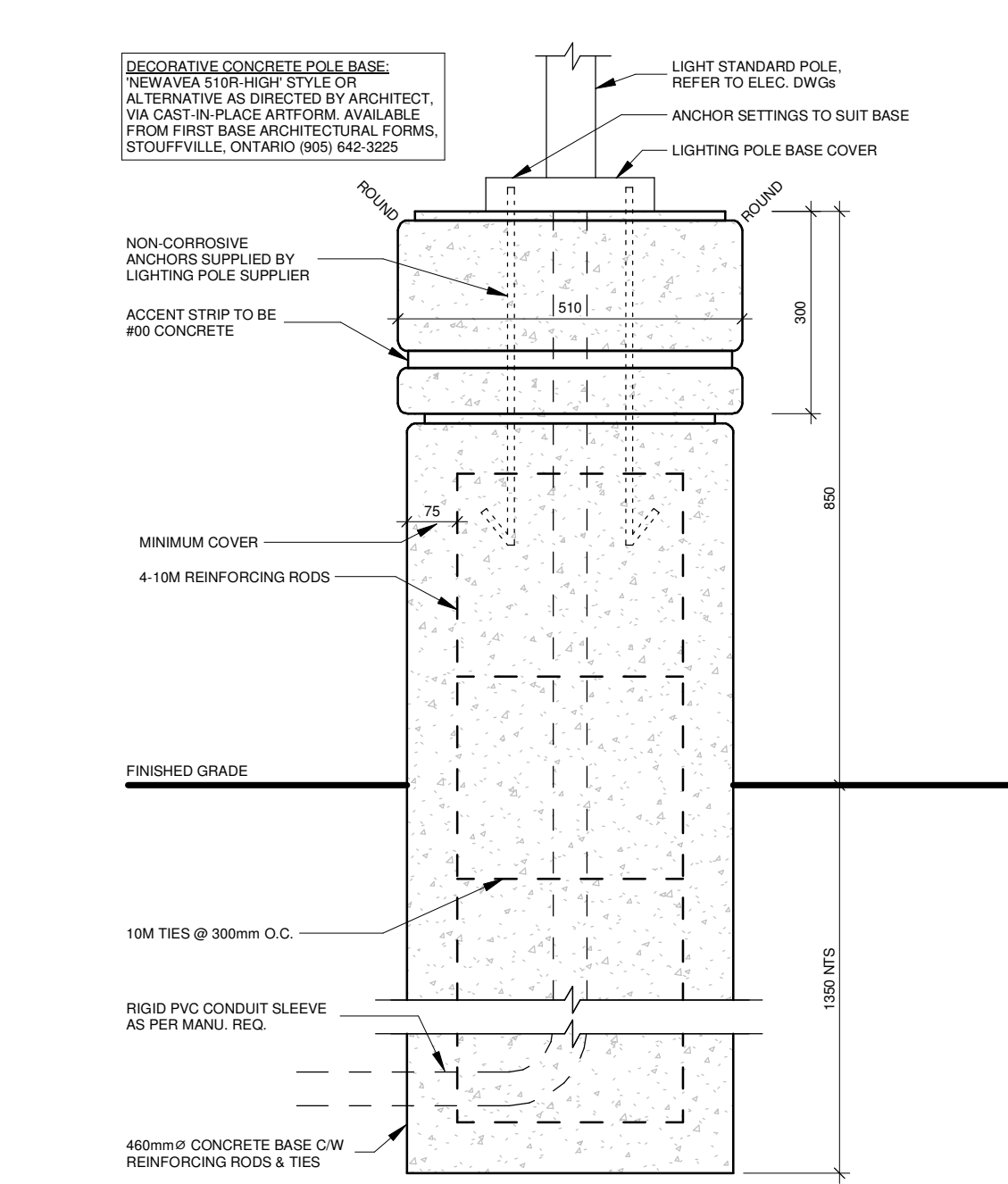
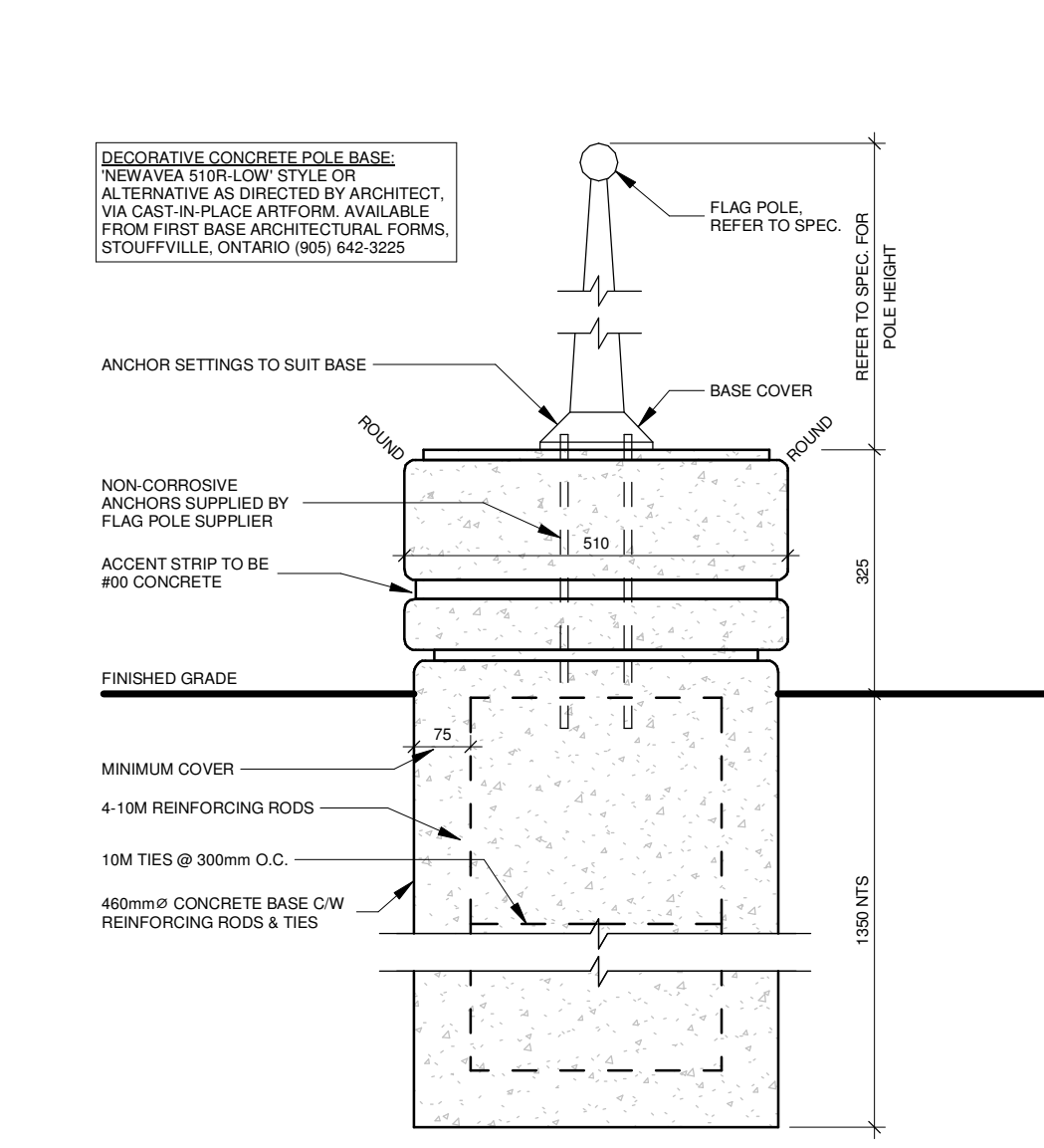
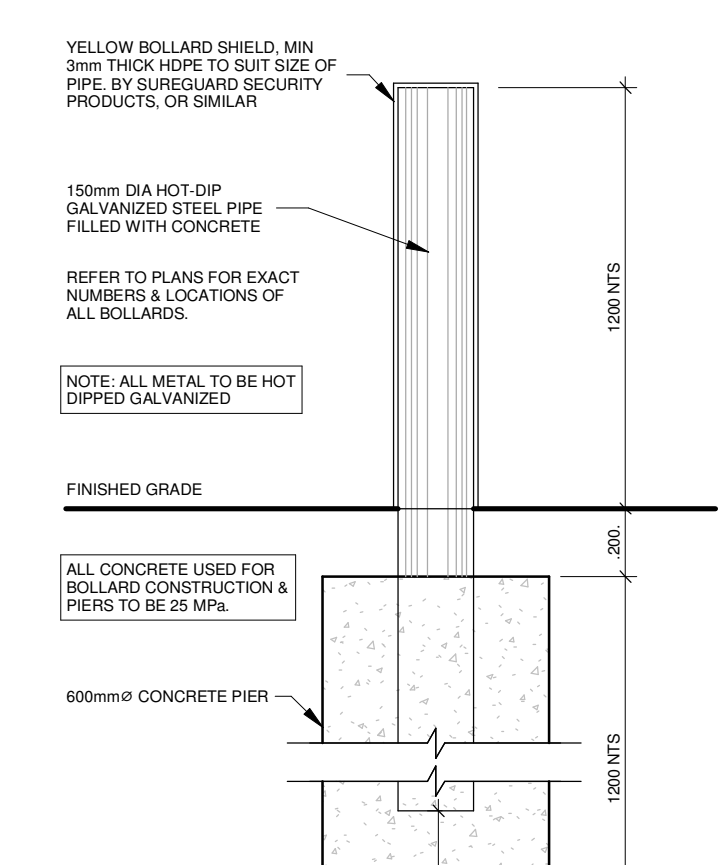
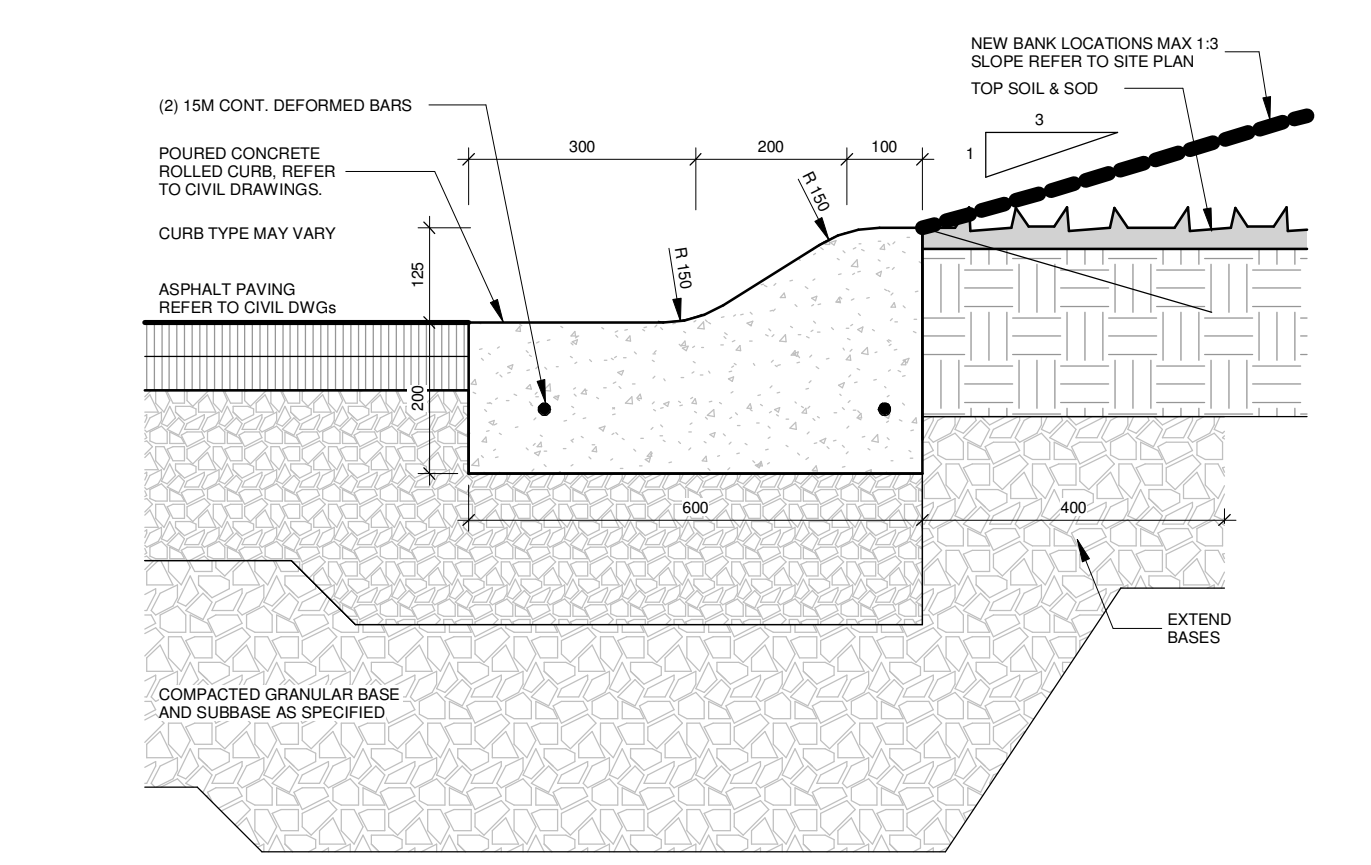
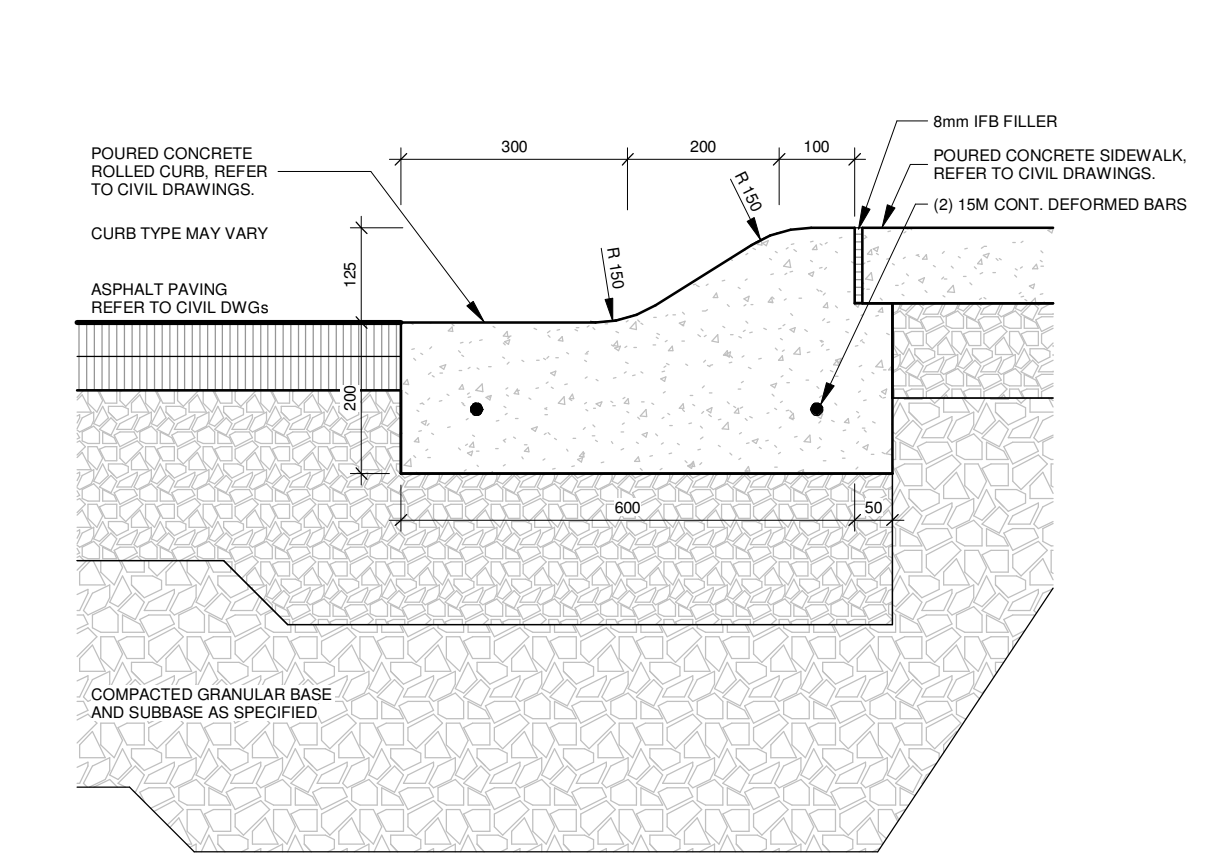
1 B.F. Curb Cut Detail
Scale as Noted

2 B.F. Pavement Logo
1 : 20

3 Barrier Curb At Sidewalk
1 : 10

4 Barrier Curb At Sodding
1 : 10

5 Concrete Sidewalk Edge
1 : 10



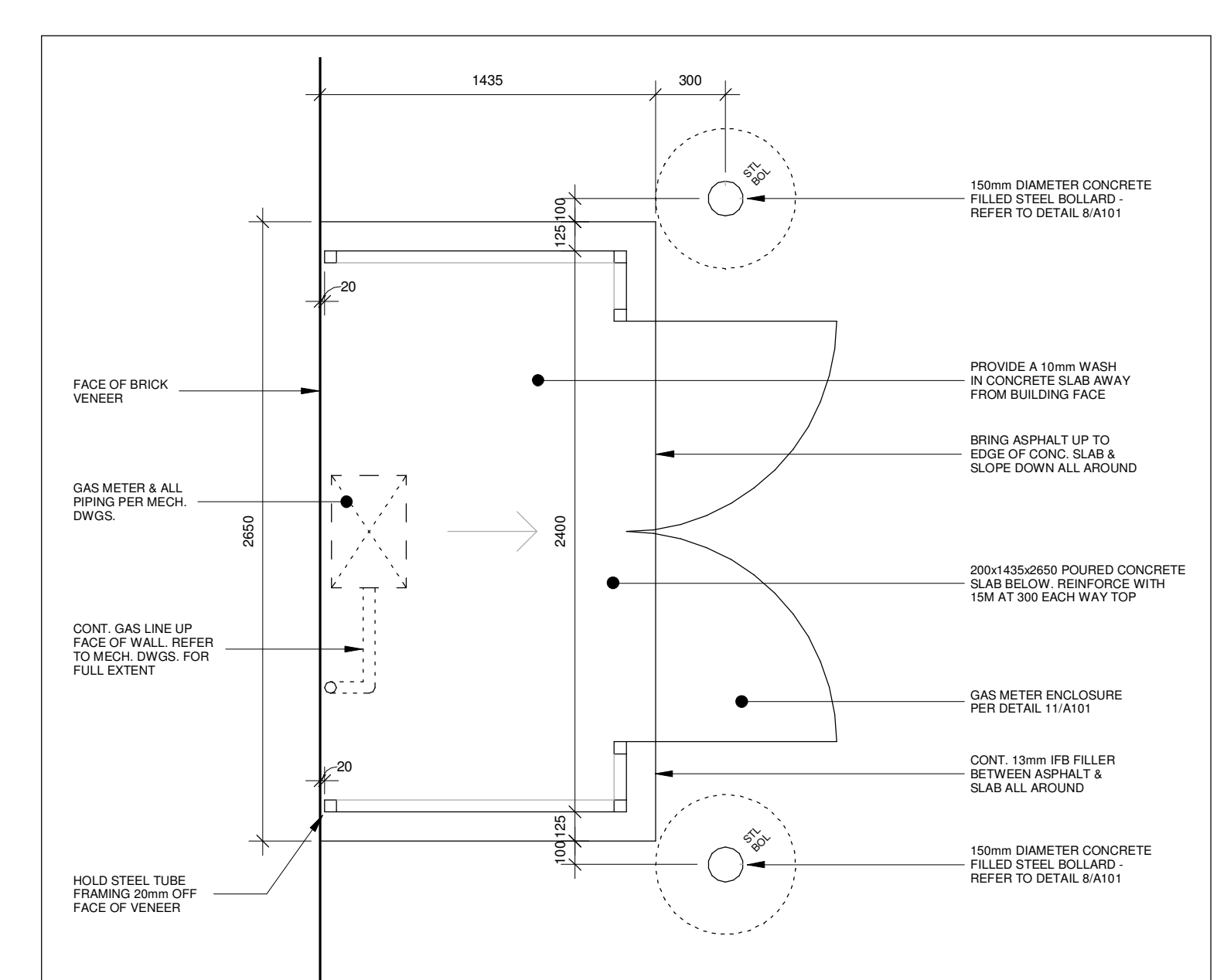
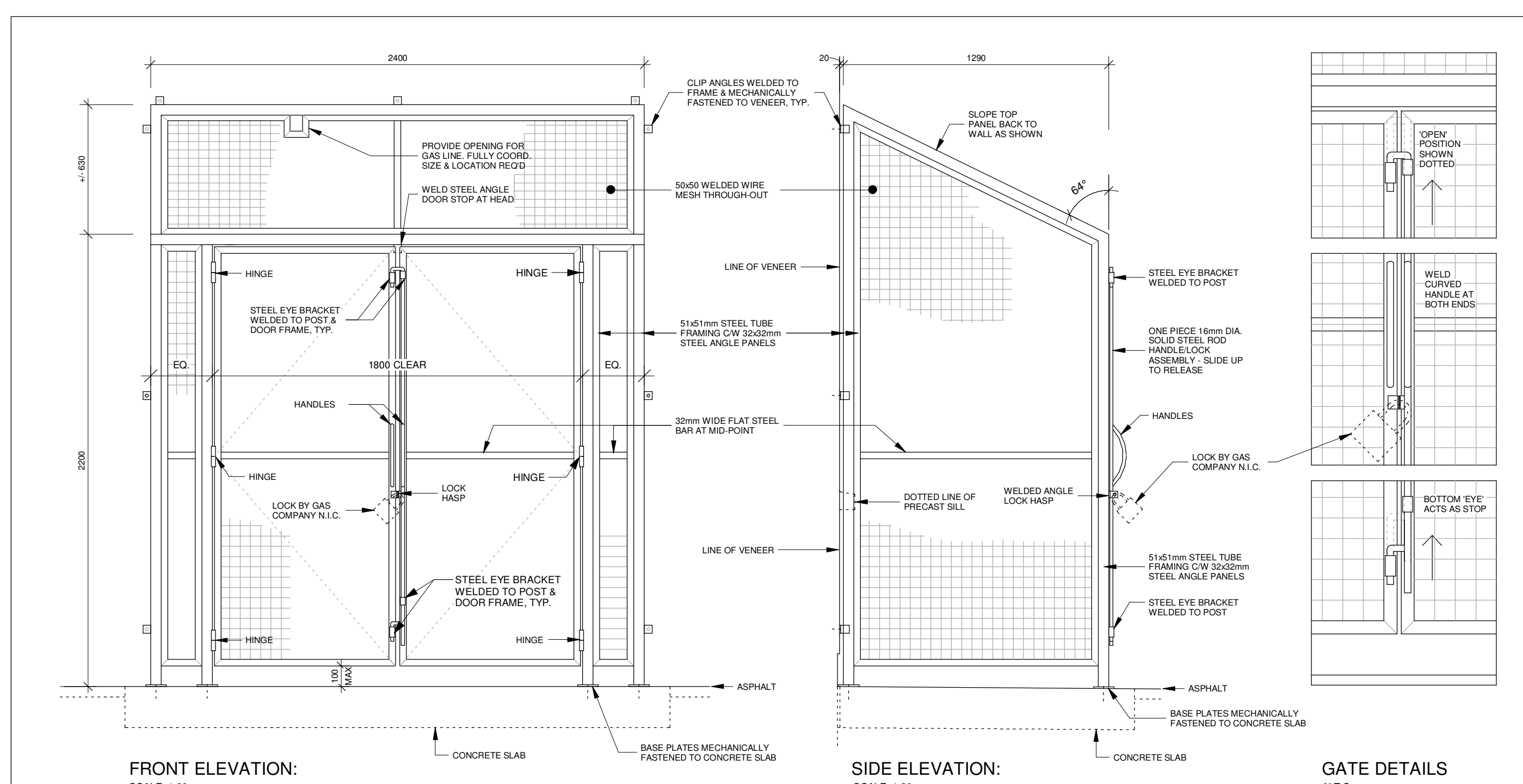
6 Rolled Curb At Sidewalk
1 : 10

7 Rolled Curb At Sodding
1 : 10

8 Steel Bollard Detail
1 : 10

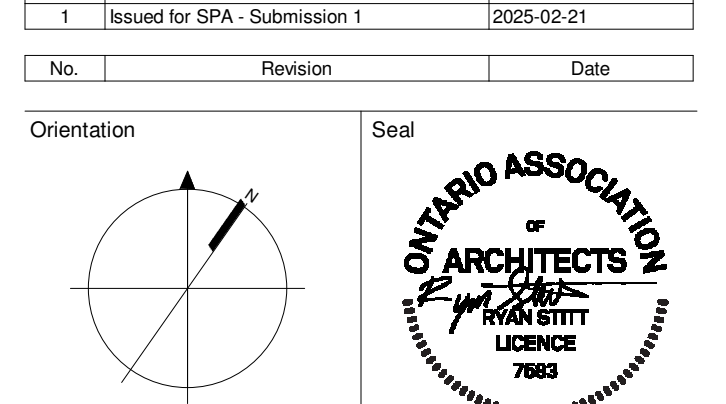
9 Flag Pole Base Detail
1 : 10

10 Light Standard Base Detail
1 : 10



12 Gas Meter Enclosure Plan
1 : 25

No.	Revision	Date
1	Issued for SPA - Submission 1	2025-02-21



All dimensions to be checked and verified on the job by the Contractor. Any discrepancies are to be reported to the Consultant prior to action. Only the latest approved drawings to be used for construction in conformance with all applicable codes, by-laws and regulations. All drawings remain the property of the Consultant.

© Copyright Reserved:
These drawings and all that is represented herein are the exclusive property of Salter Pilon Architecture Inc. They may not be used or reproduced without written permission from Salter Pilon Architecture Inc.

salterpilon
architecture

151 Ferris Lane, Suite 400 Barrie, Ontario L4M 6C1
salterpilon.com t: 705-737-3530

Project Information

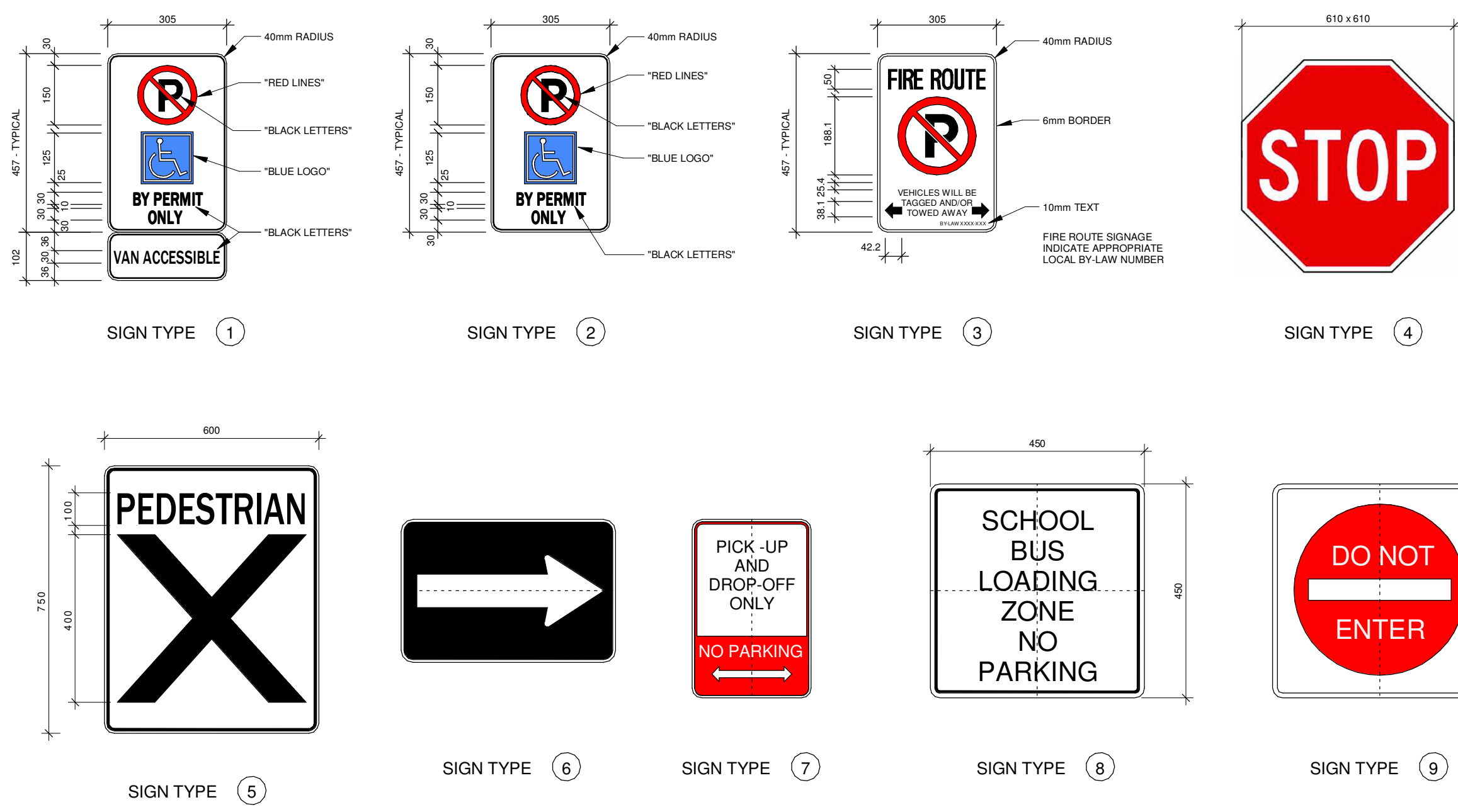
Wasaga CSS & CES

River Road West, Wasaga Beach Ontario

For
SMCDSB

Drawing Title
Site Details

Date	February 21, 2025	Project No	23019	Drawing No	A101
Drawn by	JJ				
Scale	As indicated				



GENERAL SIGNAGE NOTES

FIRE ROUTE SIGNAGE - INDICATE APPROPRIATE LOCAL BY-LAW NUMBER.

FINISHED SIGNS AND SYMBOLS SHALL BE APPLIED TO 30mm UTILITY GRADE ALUMINUM WITH BRIGHT WHITE BAKED FINISH ON BOTH SIDES. ALL INKS SHALL BE GLOSSY.

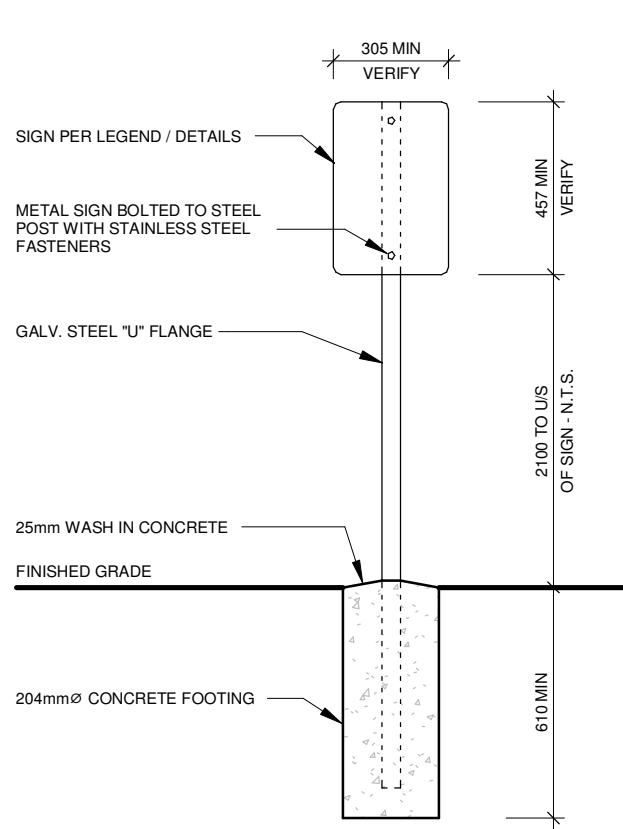
ALL LETTERING AND COLOURS TO MEET M.T.O. STANDARDS.

ALL SIGNAGE TO ONTARIO TRAFFIC MANUAL / MUNICIPAL STANDARDS AND DETAILS MUST BE VERIFIED & APPROVED PRIOR TO INSTALLATION. REFER TO SITE PLAN FOR NUMBERS & LOCATIONS OF SIGNS REQUIRED.

3 Exterior Site Signage.

A103 1 : 10

NOTE:
1. TOOLS TO BE PER LOCAL JURISDICTION REQUIREMENTS. VERIFY SIZE, SHAPE & WORKING.
2. PROVIDE SIGN AT EACH BARRIER FREE ACCESSIBLE PARKING SPOT.

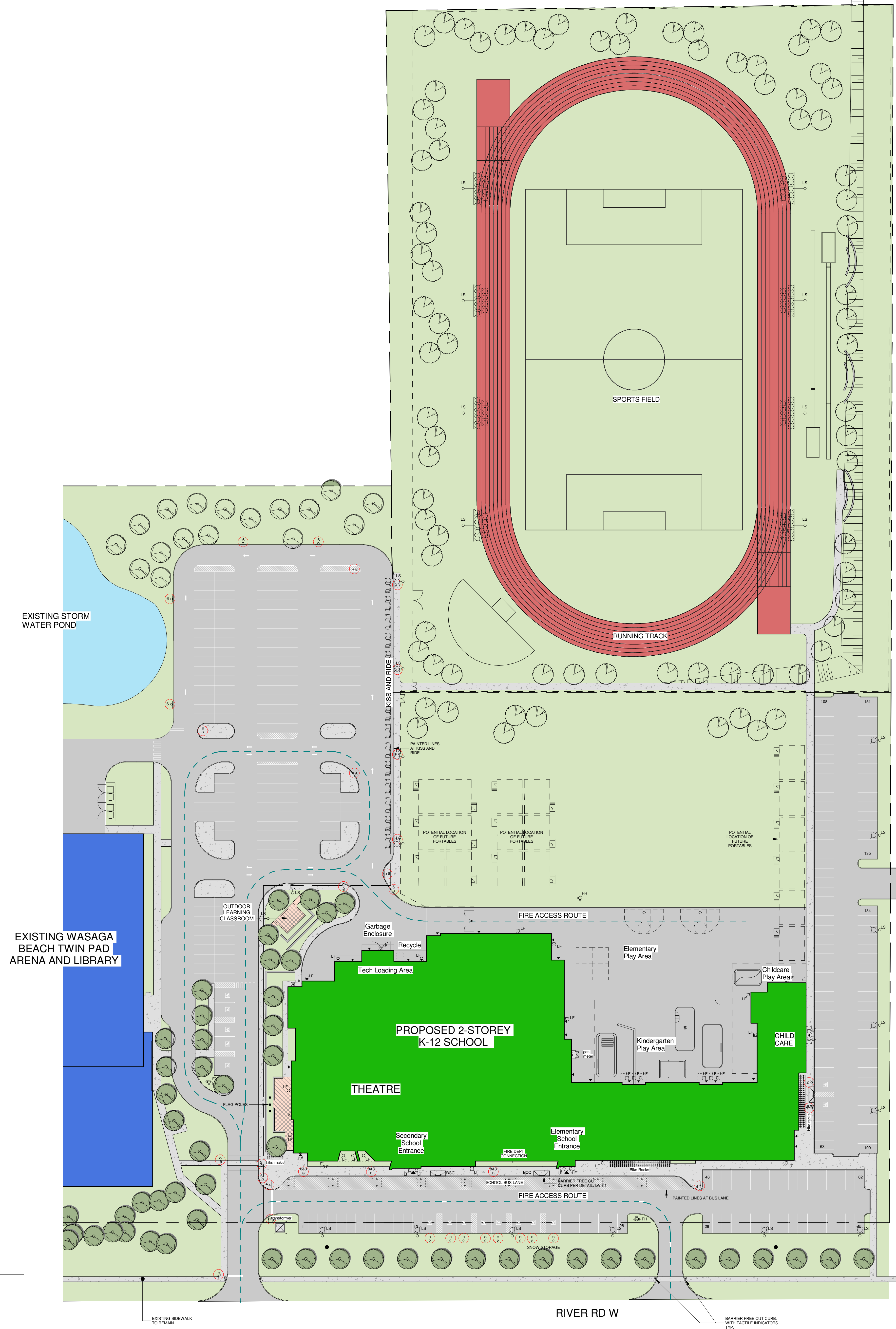


2 Signage Detail

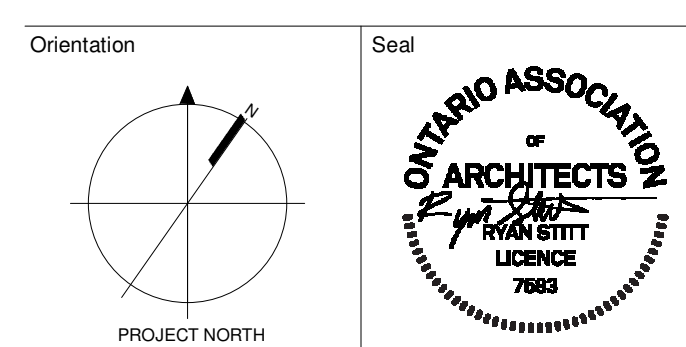
A103 1 : 20

4 Site Plan

A103 1 : 550



No.	Revision	Date
1	Issued for SPA - Submission 1	2025-02-21



All dimensions to be checked and verified on the job by the Contractor. Any discrepancies are to be reported to the Consultant prior to action. Only the latest approved drawings to be used for construction in conformance with all applicable codes, by-laws and regulations. All drawings remain the property of the Consultant.

© Copyright Reserved:
These drawings and all that is represented herein are the exclusive property of Salter Pilon Architecture Inc.
They may not be used or reproduced without written permission from Salter Pilon Architecture Inc.

salterpilon
architecture

151 Ferris Lane, Suite 400 Barrie, Ontario L4M 6C1
salterpilon.com t: 705-737-3530

Project Information

Wasaga CSS & CES

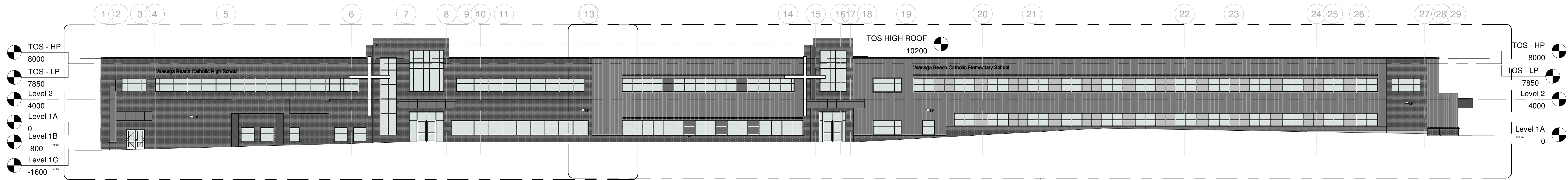
River Road West, Wasaga Beach Ontario

For SMCD5B

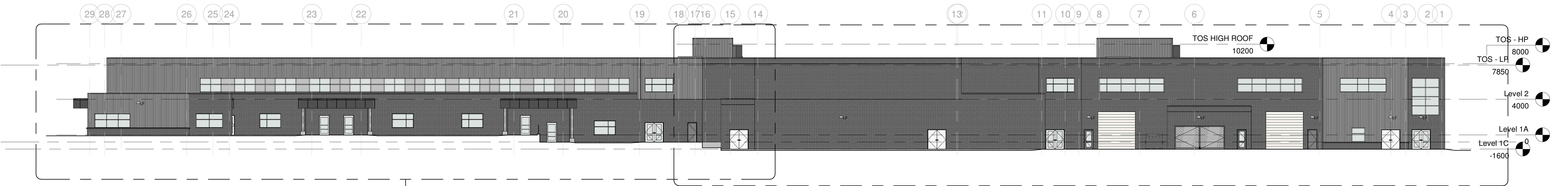
Drawing Title
Site Plan - Signage

Date	February 21, 2025	Project No	23019	Drawing No	A103
Drawn by	Author				
Scale	As indicated				

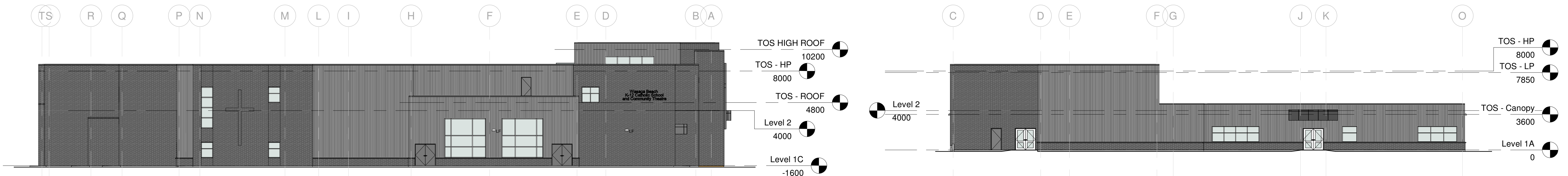




1 South Elevation
A300 1 : 200

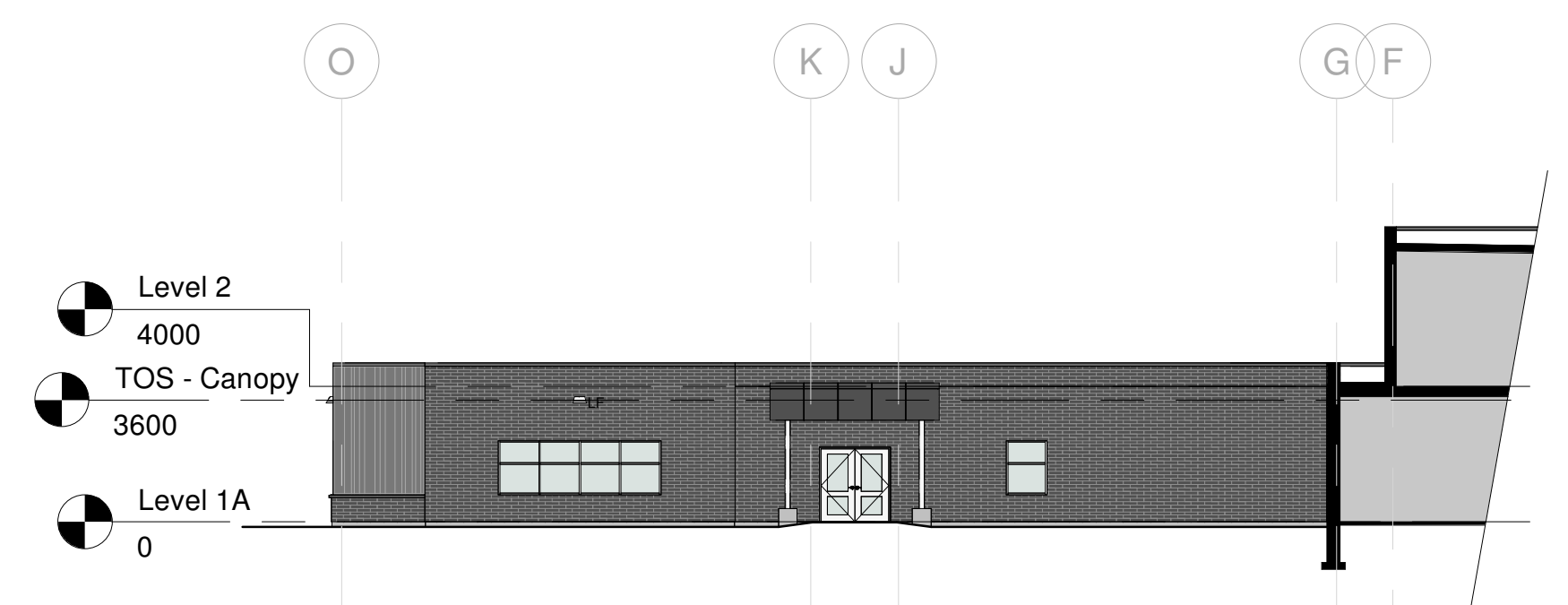


2 North Elevation
A300 1 : 200

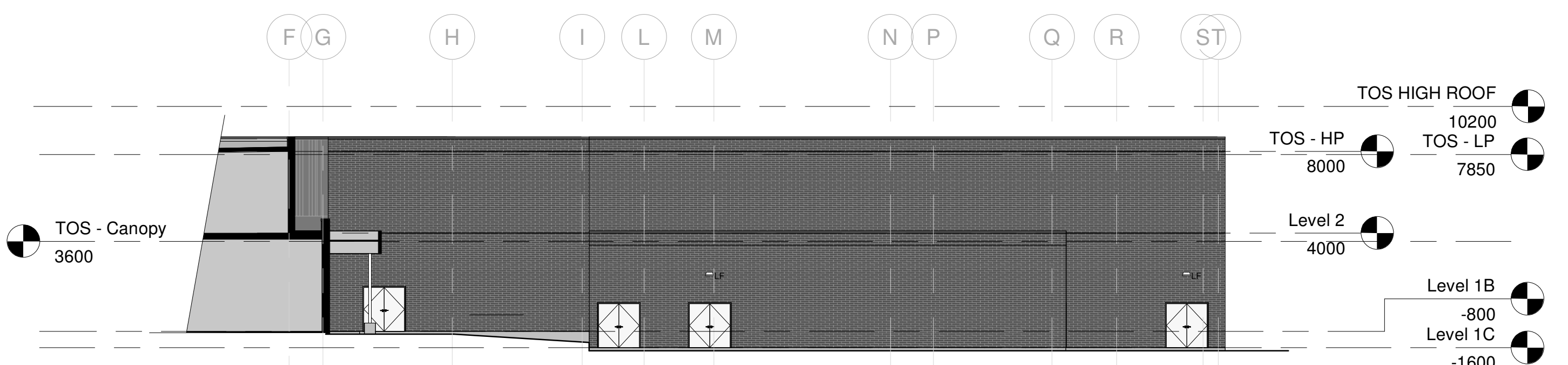


3 West Elevation
A300 1 : 200

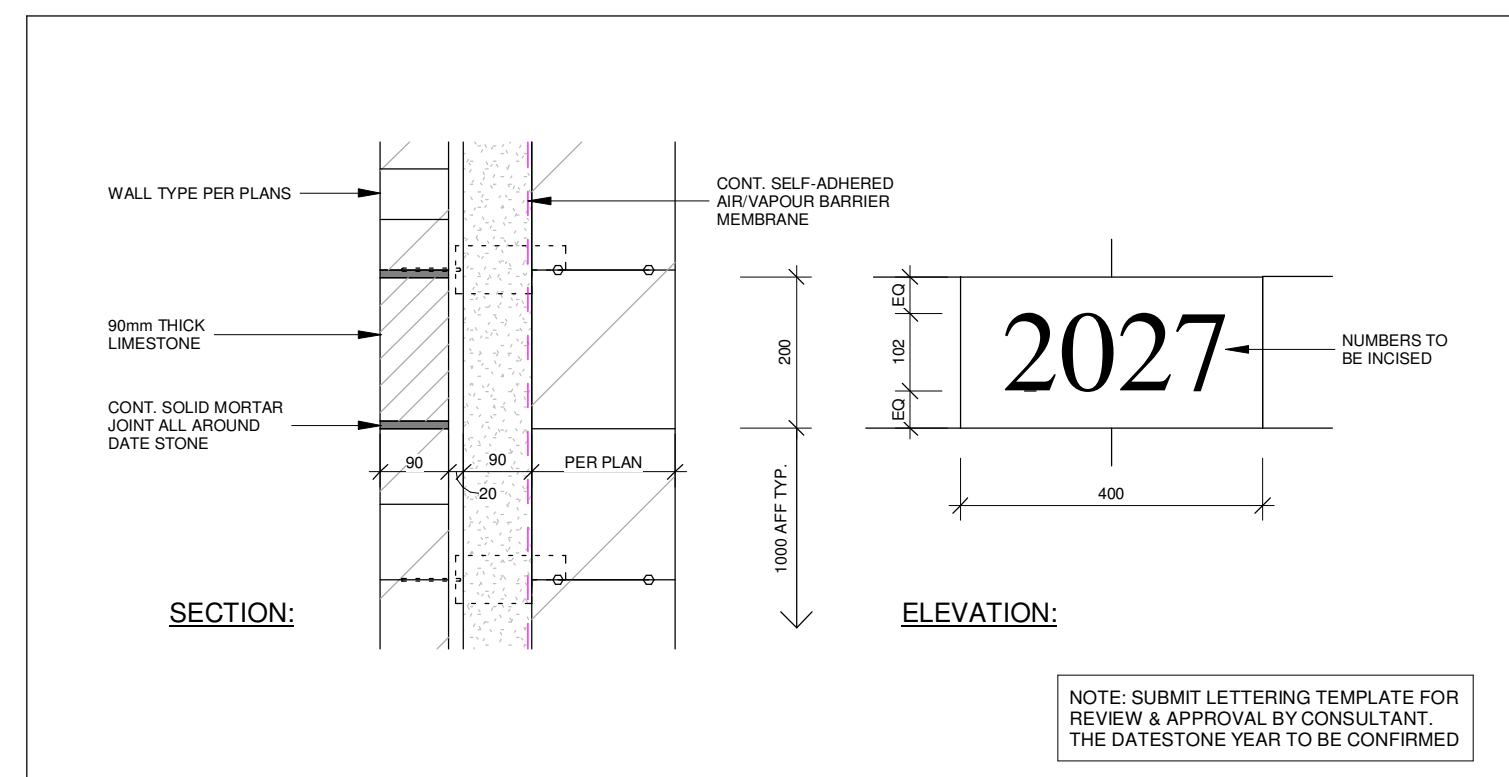
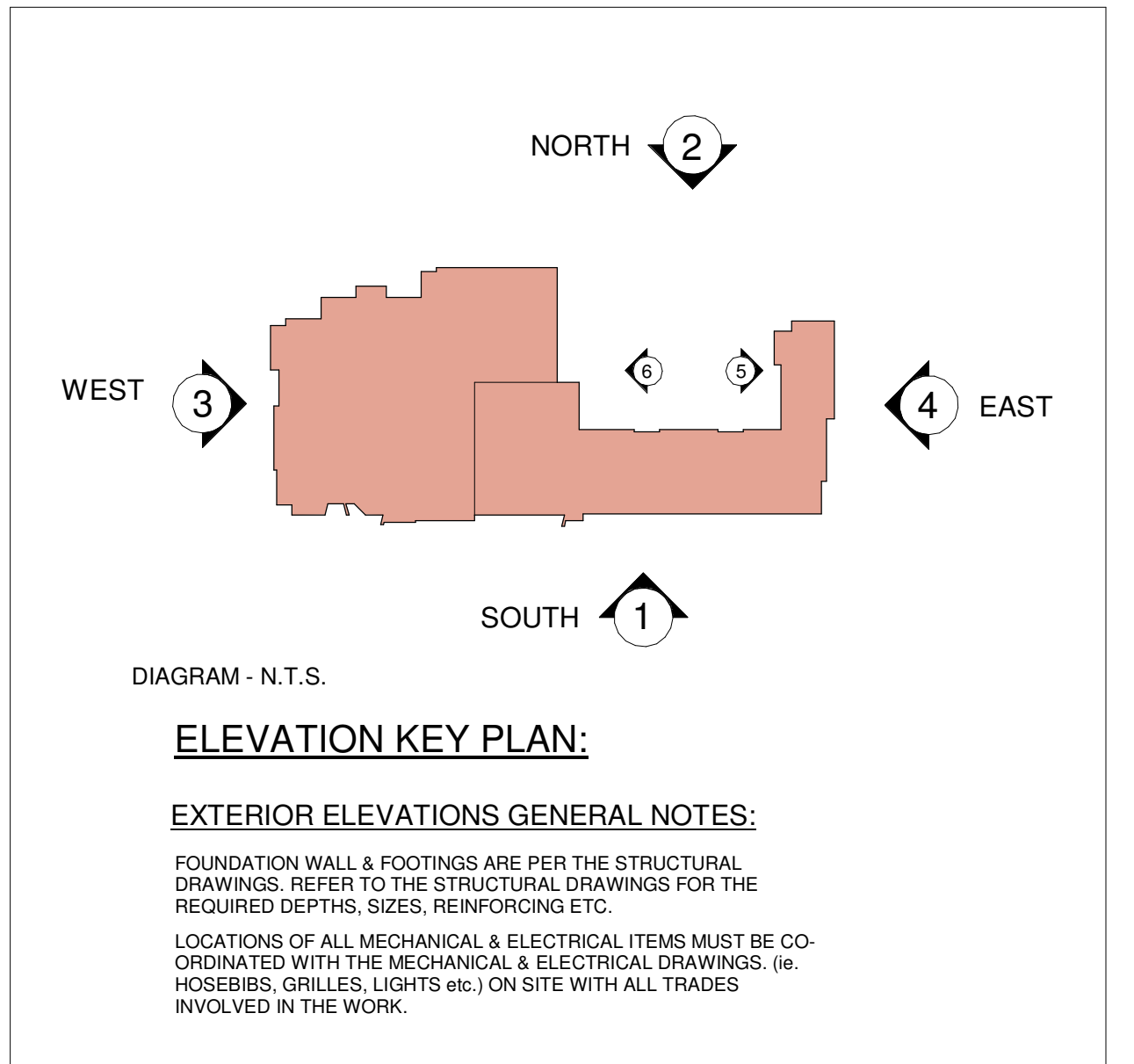
4 East Elevation
A300 1 : 200



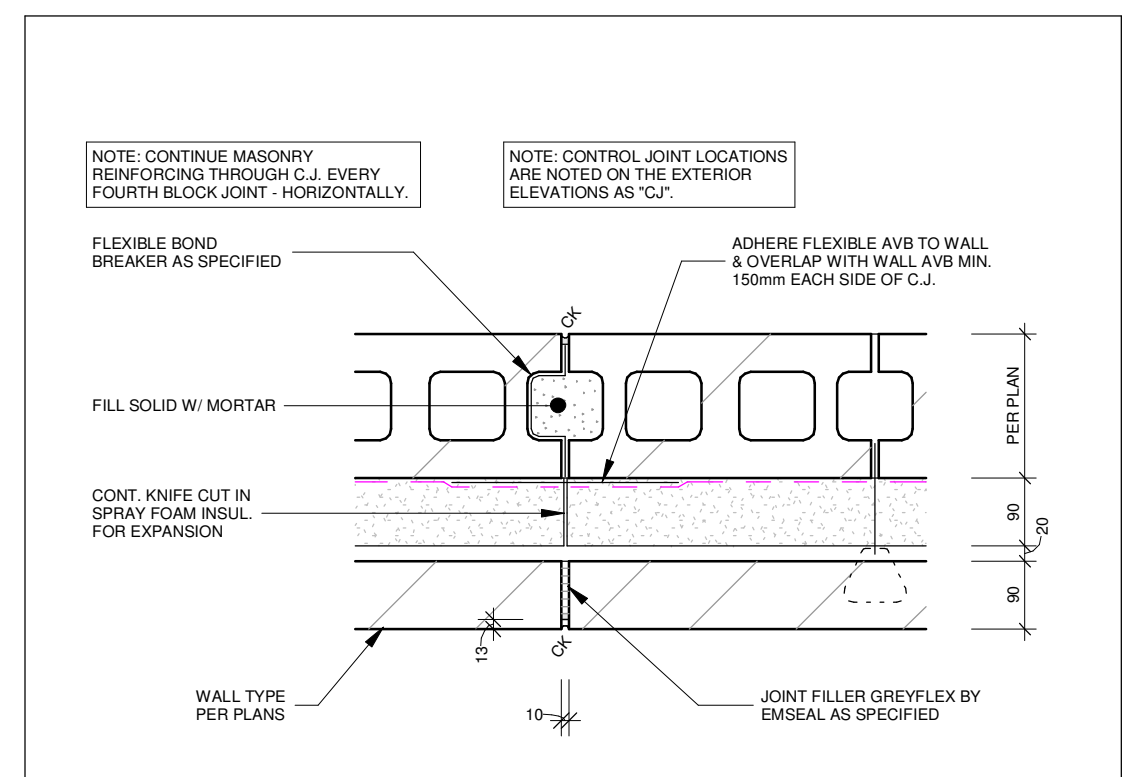
5 Part West Elevation
A300 1 : 200



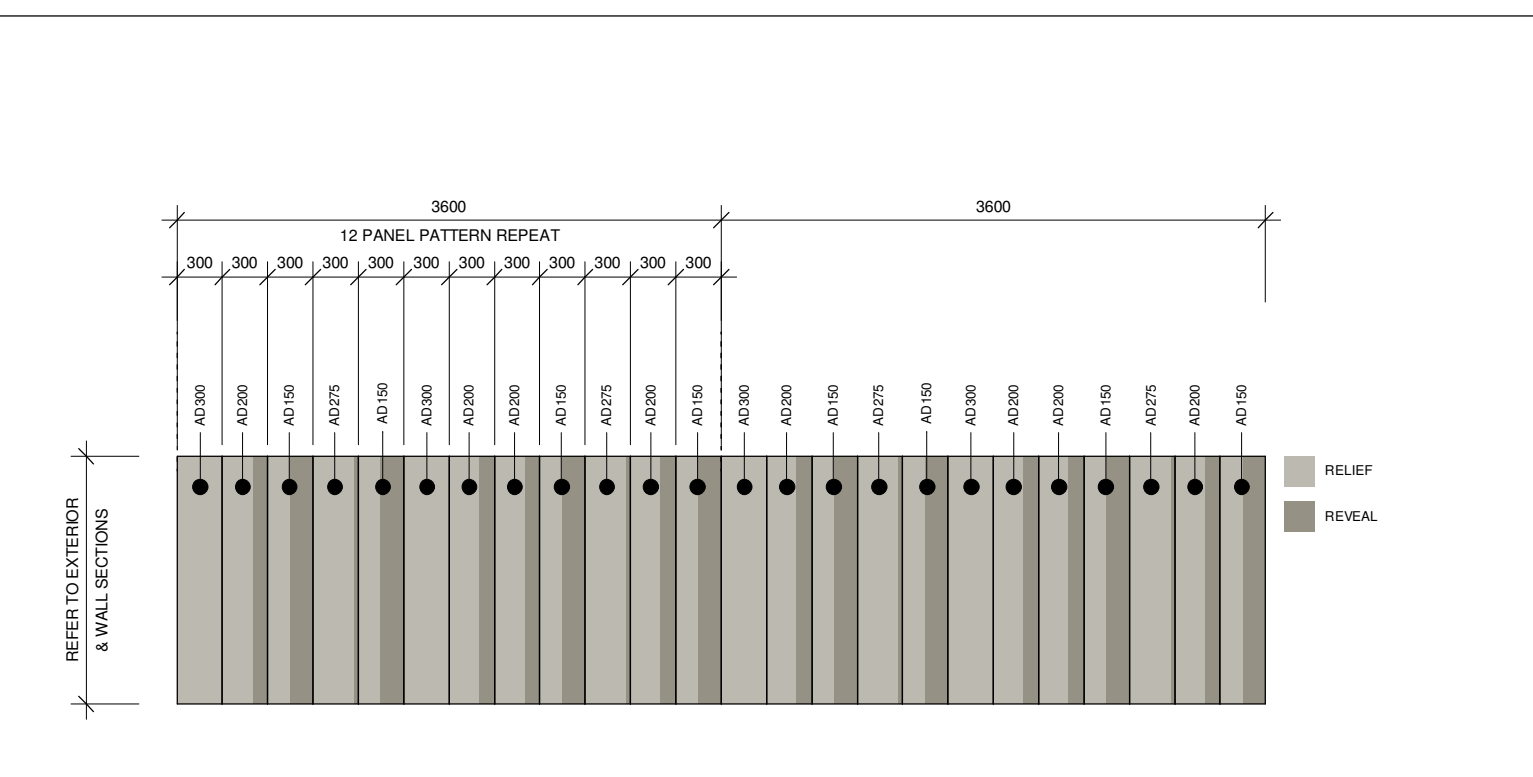
6 Part East Elevation
A300 1 : 200



7 Datestone Detail
A300 N.T.S.

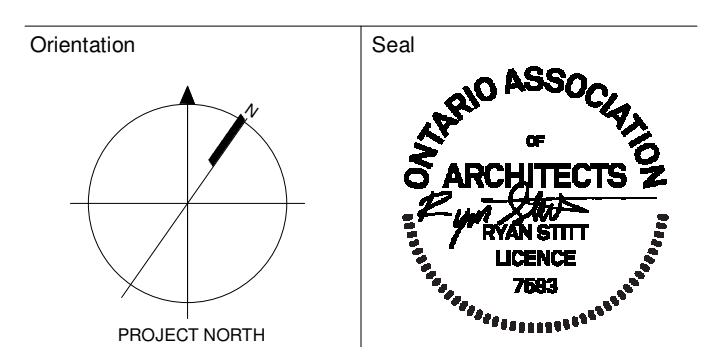


8 Control Joint Detail
A300 N.T.S.



9 Siding Pattern
A300 1 : 50

1	Issued for SPA - Submission 1	2025-02-21
No.	Revision	Date



All dimensions to be checked and verified on the job by the Contractor. Any discrepancies are to be reported to the Consultant prior to action. Only the latest approved drawings to be used for construction in conformance with all applicable codes, by-laws and regulations. All drawings remain the property of the Consultant.

© Copyright Reserved: These drawings and all that is represented herein are the exclusive property of Salter Pilon Architecture Inc. They may not be used or reproduced without written permission from Salter Pilon Architecture Inc.

salterpilon
architecture

151 Ferris Lane, Suite 400 Barrie, Ontario L4M 6C1
salterpilon.com t: 705-737-3530

Project Information

Client: Wasaga CSS & CES

Location: River Road West, Wasaga Beach Ontario

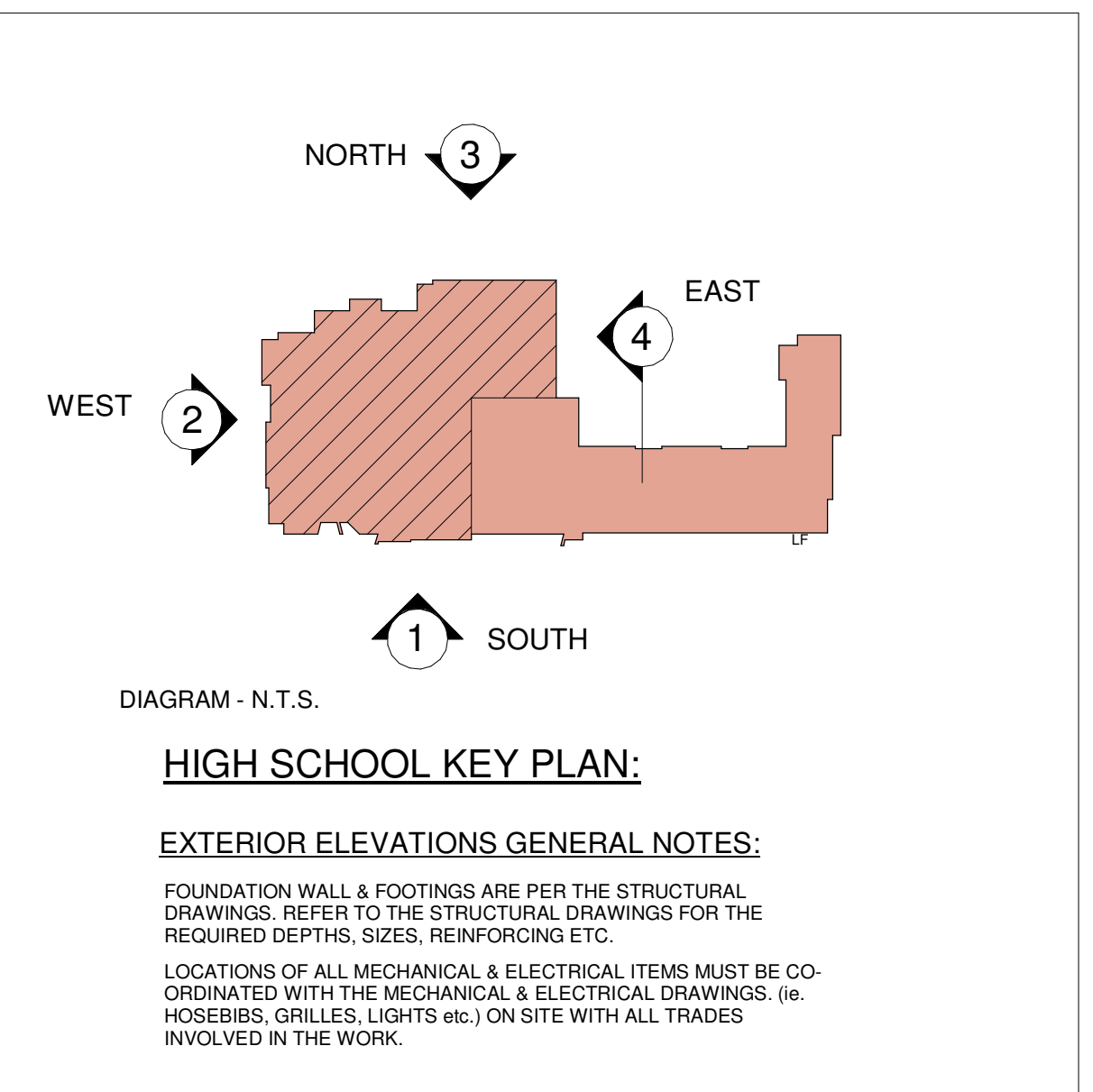
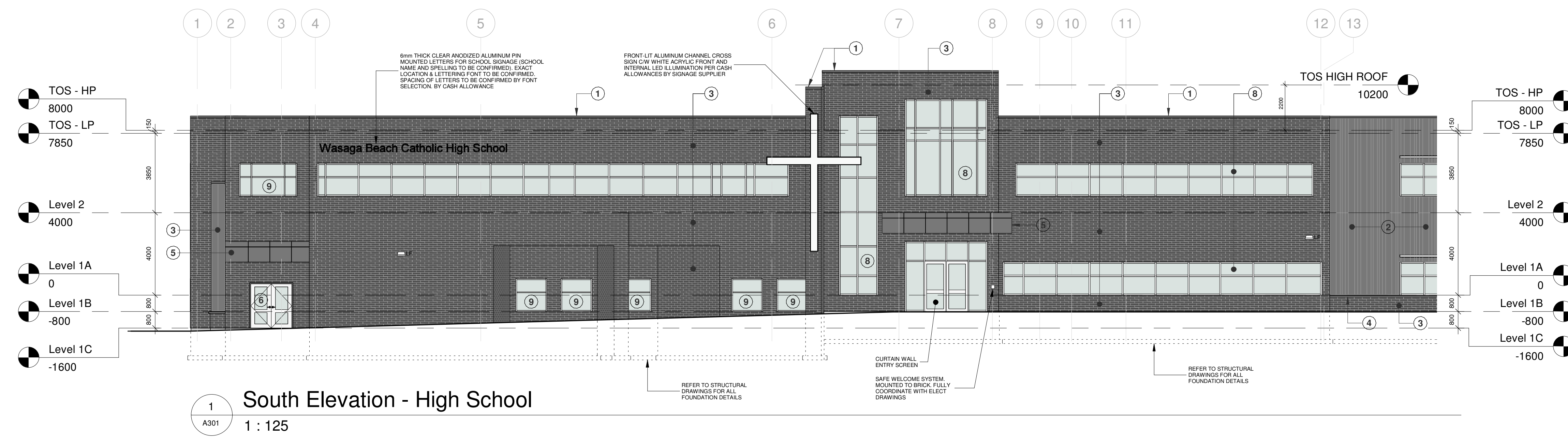
For: SMCD5B

Drawing Title: Overall Exterior Elevations

Date: February 21, 2025 Project No: 23019 Drawing No: A300

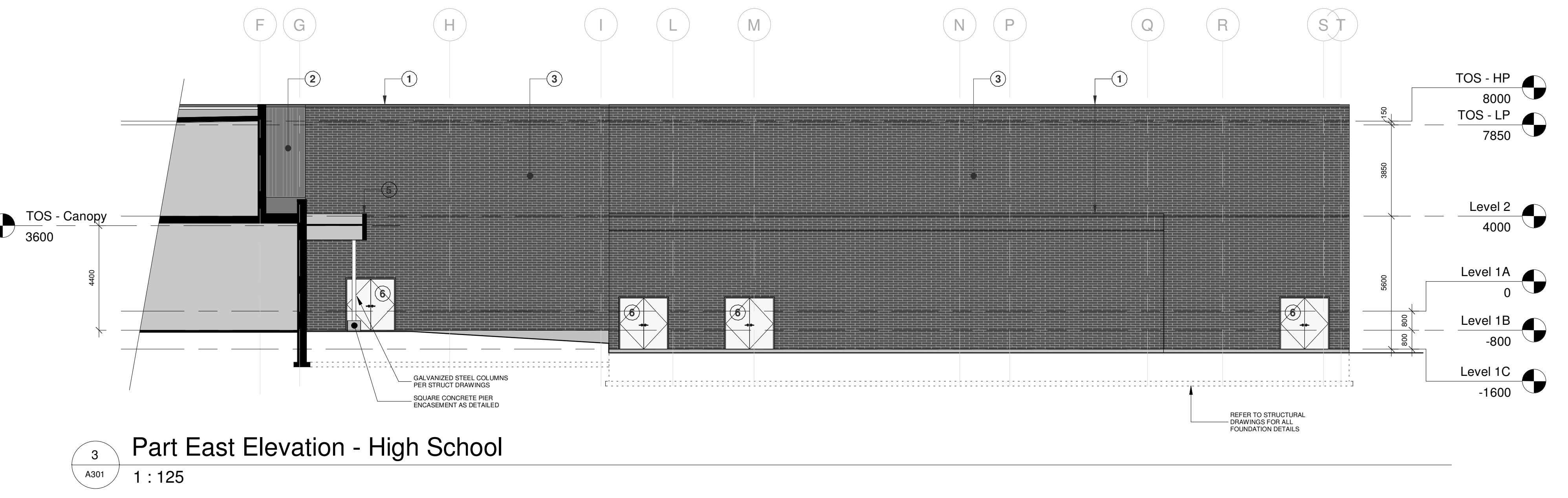
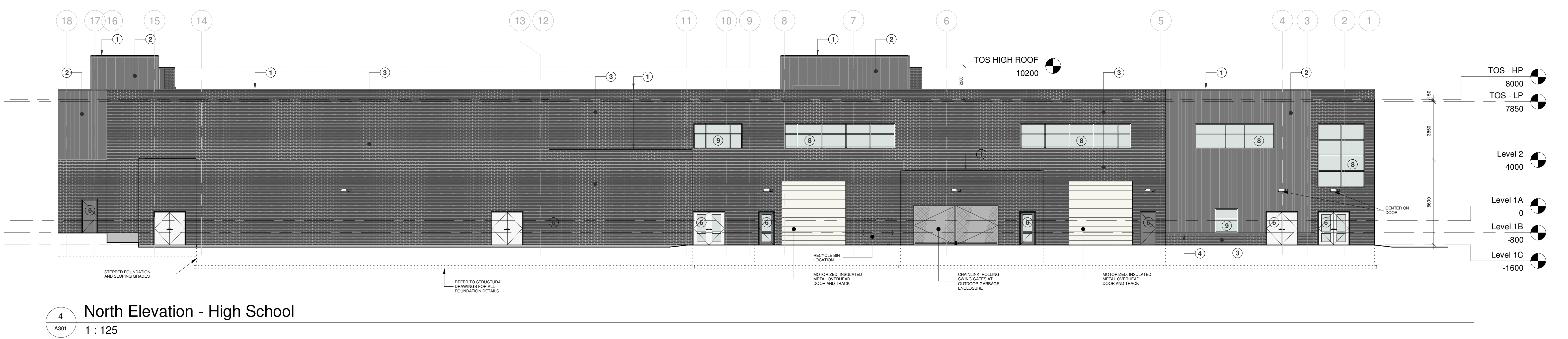
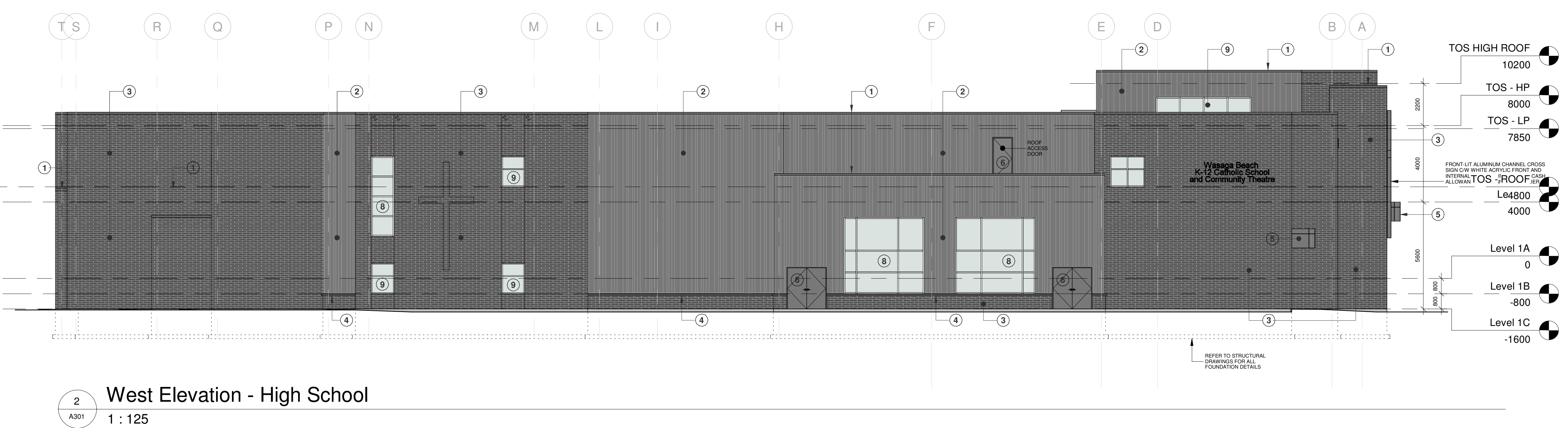
Drawn by: AP, JM, TES

Scale: As indicated



EXTERIOR FINISHES LEGEND:

- 1 PREFINISHED METAL ROOF EDGE FLASHING
- 2 PREFINISHED METAL SIDING REFER TO 8A300 FOR SIDING PATTERN
- 3 FACE BRICK
- 4 PRECAST STONE SILL
- 5 PREFINISHED ALUMINUM COMPOSITE PANELS
- 6 DOOR AND FRAME PER SCHEDULE
- 7 ALUMINUM SUNSHADE SYSTEM
- 8 PREFINISHED ALUMINUM CURTAIN WALL UNIT
- 9 PREFINISHED ALUMINUM WINDOW UNIT



No.	Revision	Date
1	Issued for SPA - Submission 1	2025-02-21

Orientation: PROJECT NORTH

Seal: ONTARIO ASSOCIATION OF ARCHITECTS

All dimensions to be checked and verified on the job by the Contractor. Any discrepancies are to be reported to the Consultant prior to action. Only the latest approved drawings to be used for construction in conformance with all applicable codes, by-laws and regulations. All drawings remain the property of the Consultant.

© Copyright Reserved:
 These drawings and all that is represented herein are the exclusive property of Salter Pilon Architecture Inc. They may not be used or reproduced without written permission from Salter Pilon Architecture Inc.

salterpilon
architecture

151 Ferris Lane, Suite 400 Barrie, Ontario L4M 6C1
 salterpilon.com t: 705-737-3530

Project Information

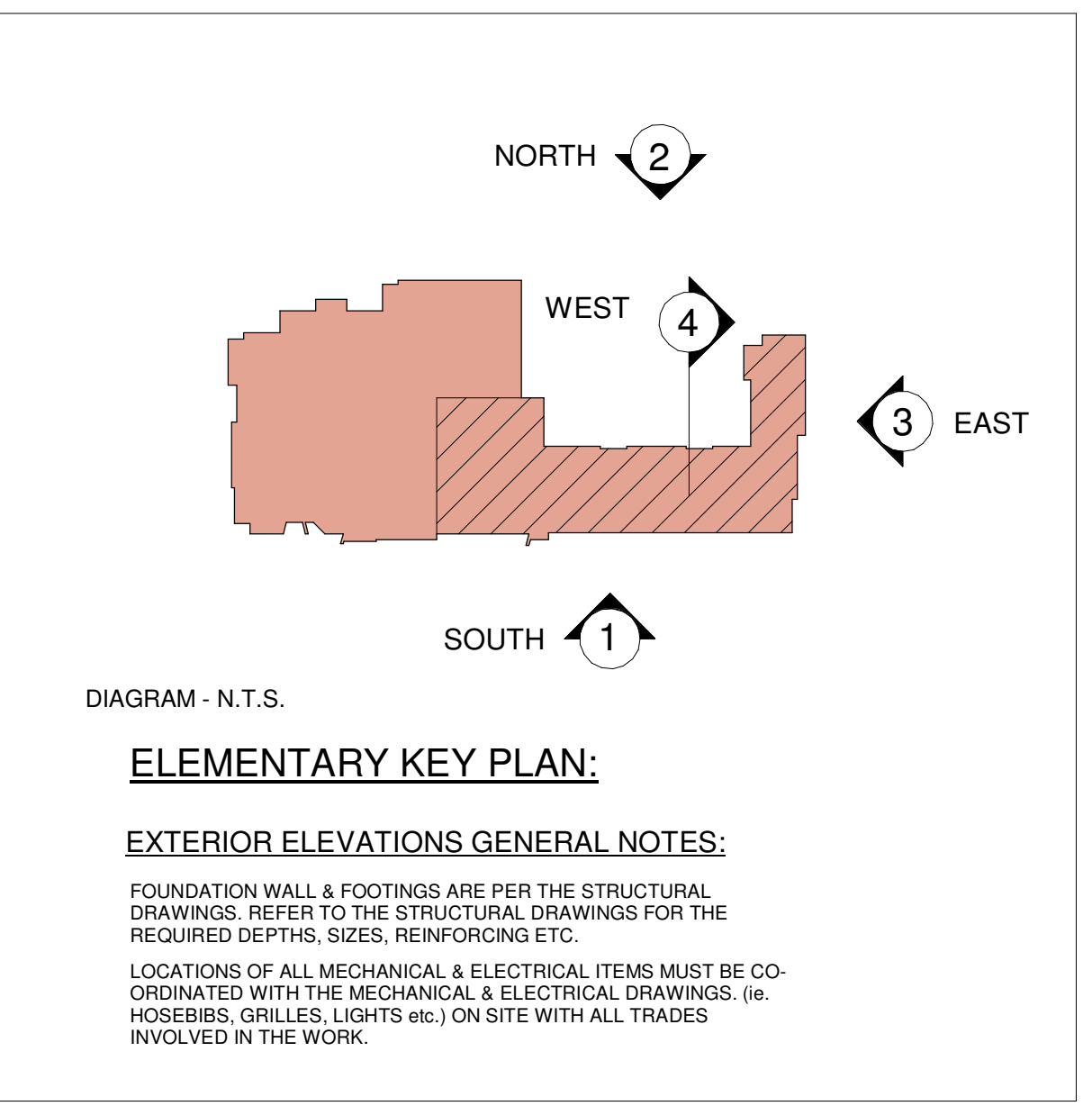
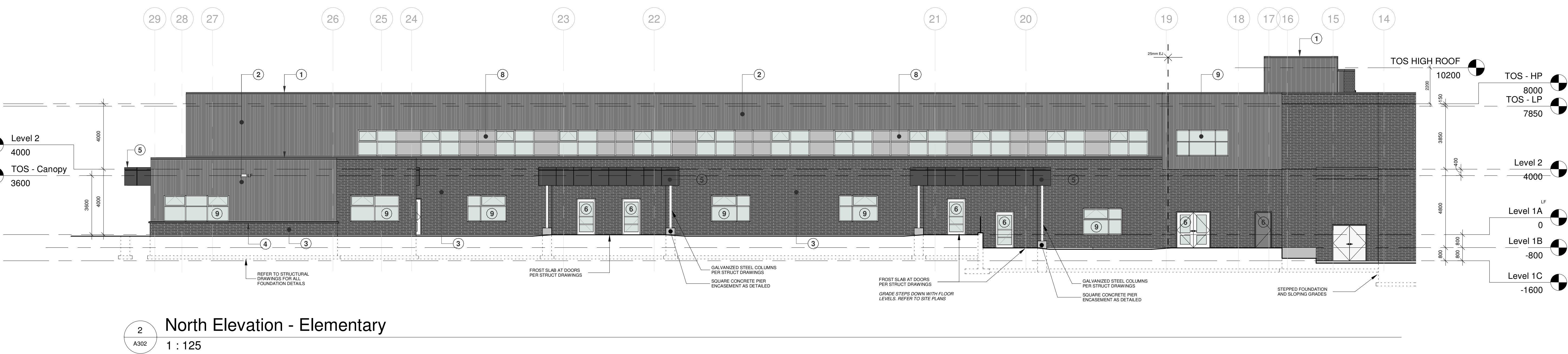
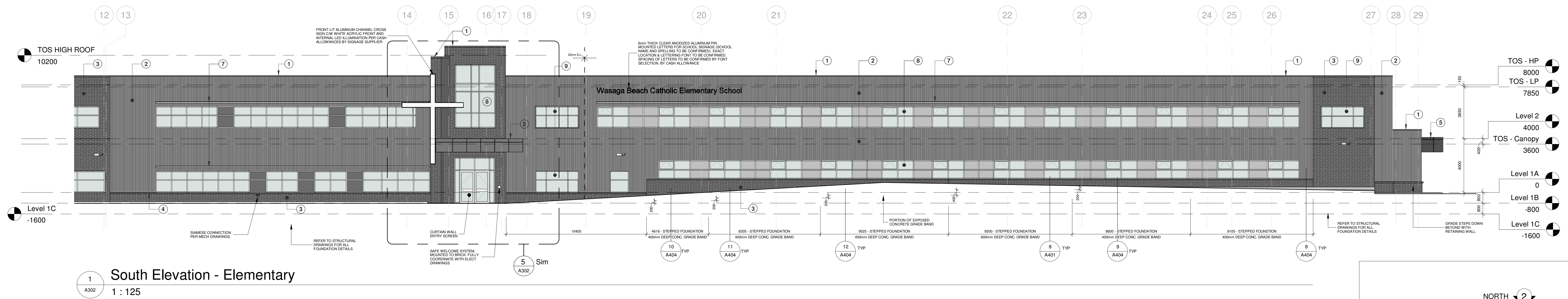
Wasaga CSS & CES

River Road West, Wasaga Beach Ontario

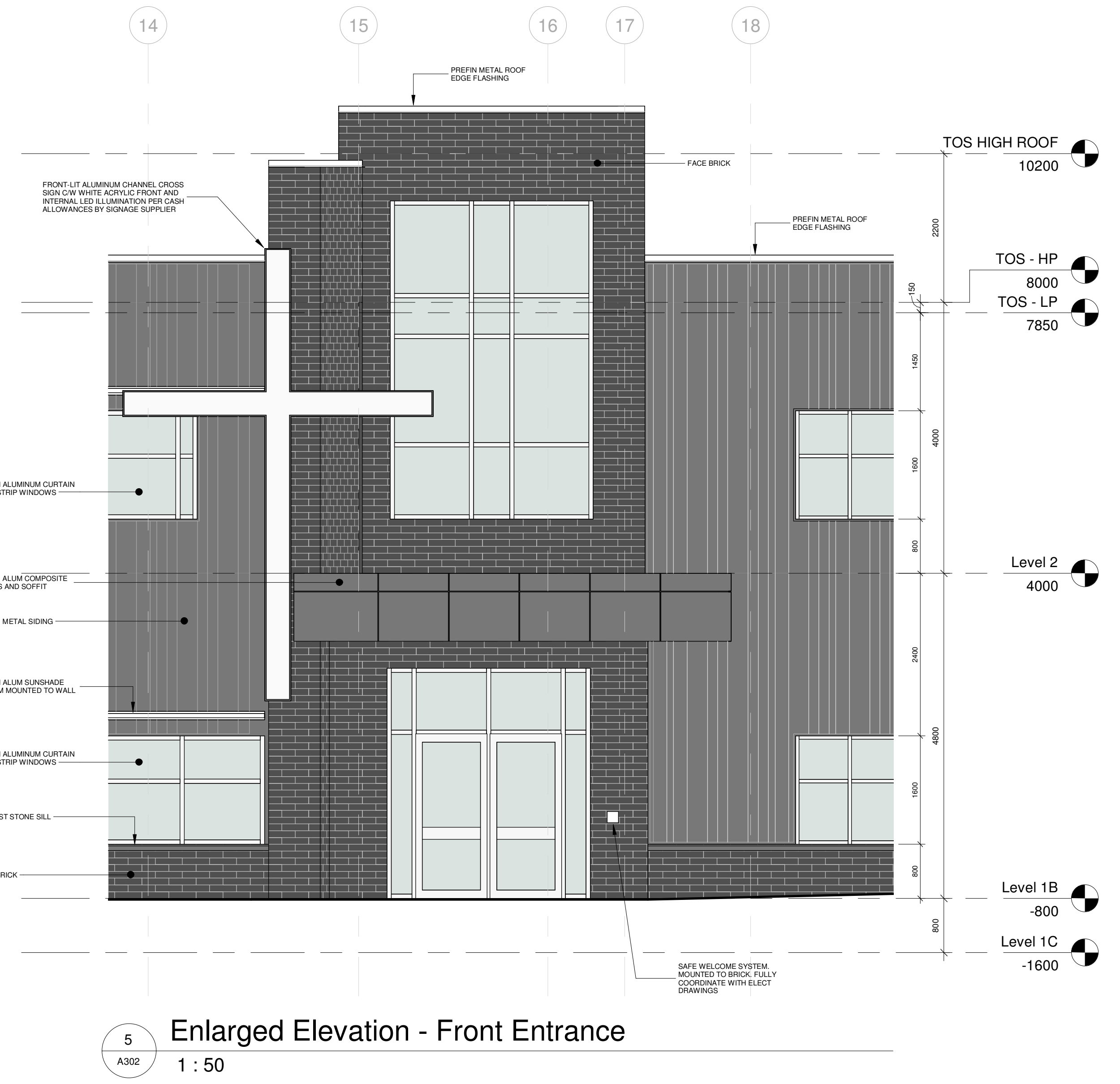
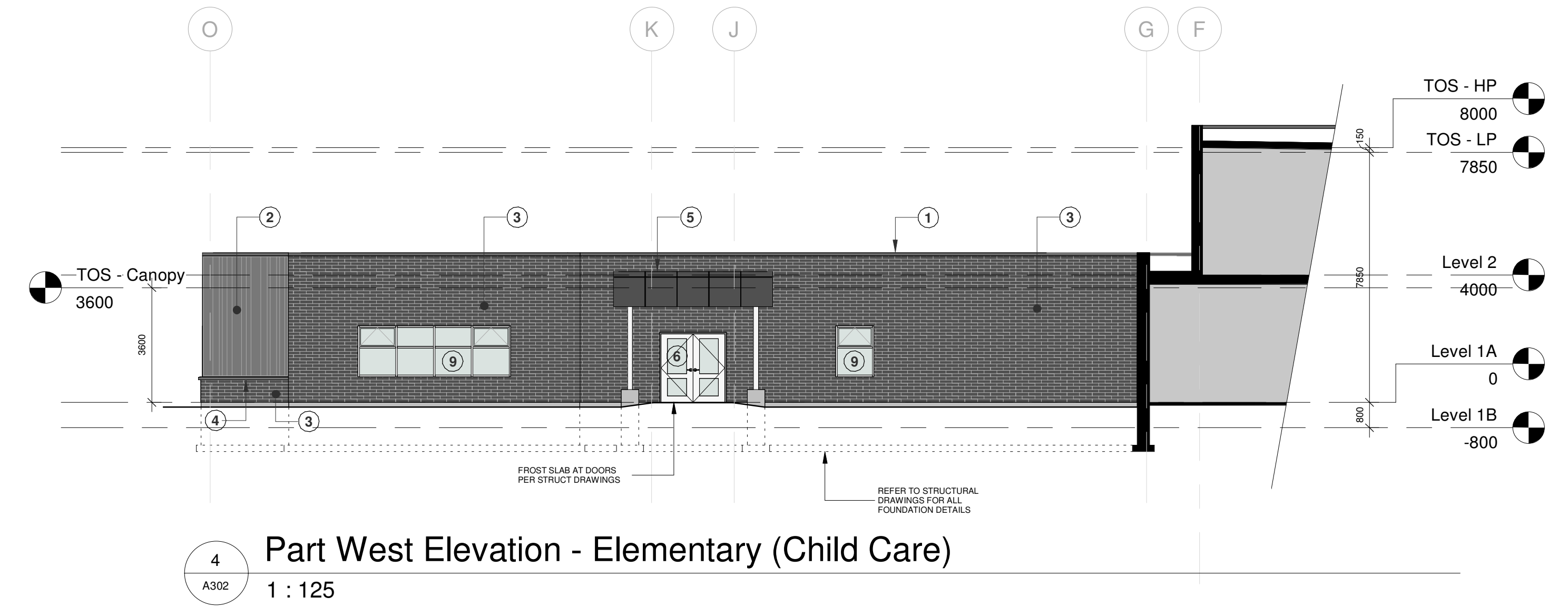
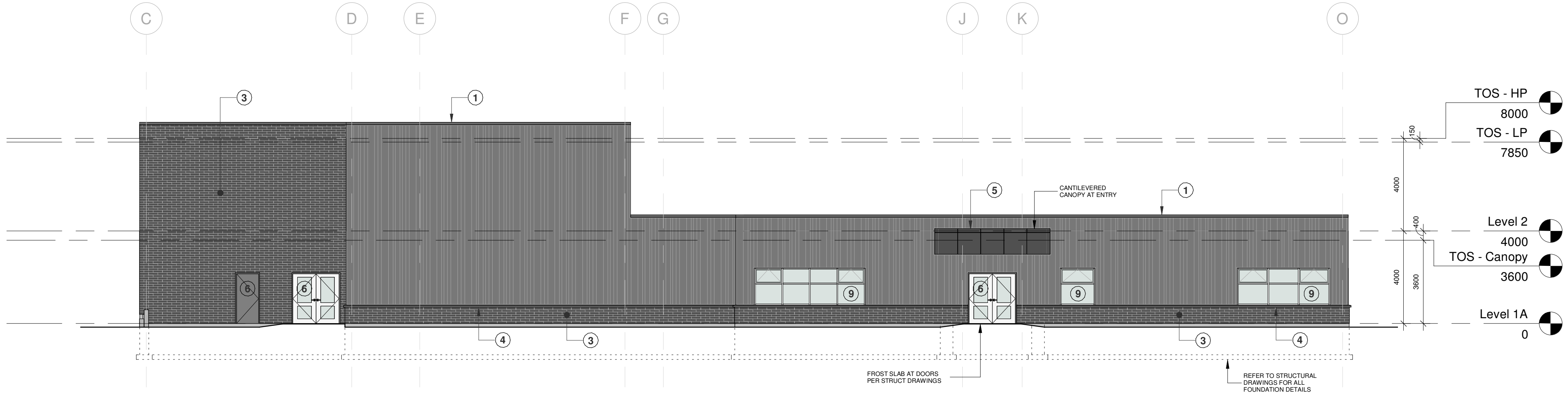
For: SMCD5B

Drawing Title: Exterior Elevations - High School

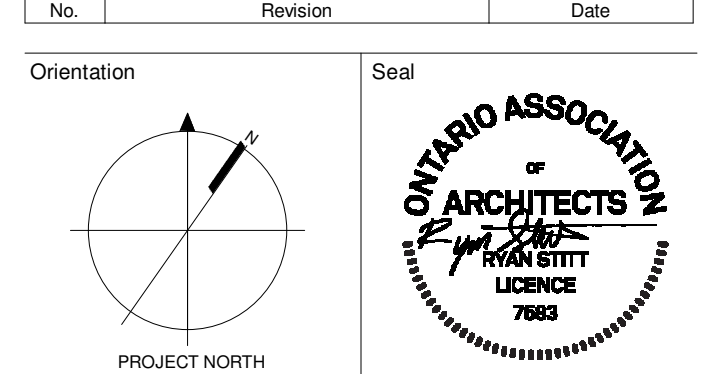
Date: February 21, 2025	Project No: 23019	Drawing No: A301
Drawn by: AP, JM, TES		
Scale: As indicated		



- EXTERIOR FINISHES LEGEND:**
- 1 PREFINISHED METAL ROOF EDGE FLASHING
 - 2 PREFINISHED VERTICAL METAL SIDING. REFER TO S-300 FOR SIDING PATTERN
 - 3 FACE BRICK
 - 4 PRECAST STONE SILL
 - 5 PREFINISHED ALUMINUM COMPOSITE PANELS
 - 6 DOOR AND FRAME PER SCHEDULE
 - 7 ALUMINUM SUNSHADE SYSTEM
 - 8 PREFINISHED ALUMINUM CURTAIN WALL UNIT
 - 9 PREFINISHED ALUMINUM WINDOW UNIT



No.	Revision	Date
1	Issued for SPA - Submission 1	2025-02-21



All dimensions to be checked and verified on the job by the Contractor. Any discrepancies are to be reported to the Consultant prior to action. Only the latest approved drawings to be used for construction in conformance with all applicable codes, by-laws and regulations. All drawings remain the property of the Consultant.
© Copyright Reserved:
These drawings and all that is represented herein are the exclusive property of Salter Pilon Architecture Inc. They may not be used or reproduced without written permission from Salter Pilon Architecture Inc.

salterpilon
architecture

151 Ferris Lane, Suite 400 Barrie, Ontario L4M 6C1
salterpilon.com t: 705-737-3530

Project Information

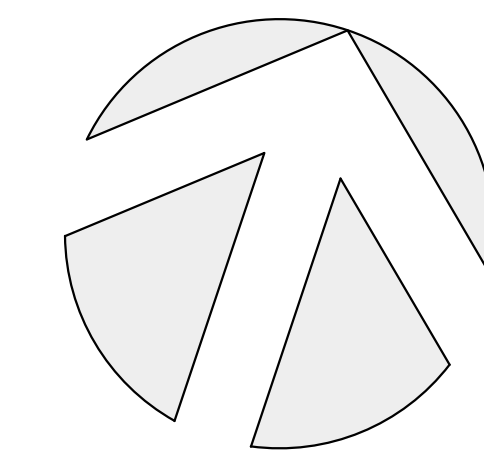
Wasaga CSS & CES

River Road West, Wasaga Beach Ontario

For
SMCDSB

Drawing Title
Exterior Elevations - Elementary School

Date: February 21, 2025 Project No: 23019 Drawing No: A302
Drawn by: AP, JM, TES
Scale: As indicated



NORTH

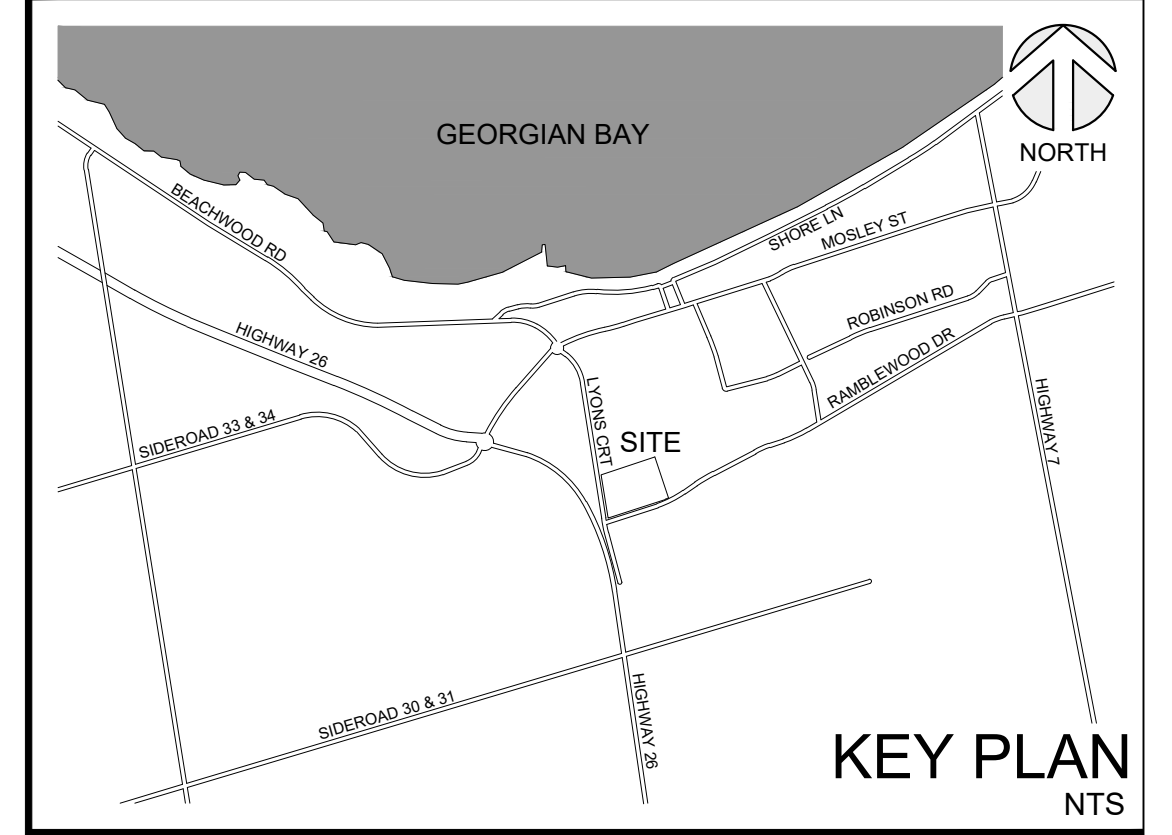
LEGEND

- SOFT LANDSCAPING
- CONCRETE PAVING
- ASPHALT PAVING
- FIRE ROUTE
- CART CORRAL
- LIGHT STANDARDS
- WALL MOUNTED LIGHTING
- FIRE HYDRANTS

- SIGNAGE FOR FIRE ROUTE (INSET 1)
- SIGNAGE FOR ACCESSIBLE PARKING (INSET 2)
- INSET 1: FIRE ROUTE SIGN
- INSET 2: ACCESSIBLE PARKING SIGN

COSTCO WHOLESALE
 WASAGA BEACH, ONTARIO
 NEW WAREHOUSE AND FUEL FACILITY

COSTCO WHOLESALE CORPORATION
 999 LAKE DRIVE
 ISSAQUAH, WA 98027
 T: 425.313.8100
 Costco.com



PROJECT DATA
 PROJECT ADDRESS: LYONS COURT & RAMBLEWOOD DRIVE, WASAGA BEACH, ONTARIO
 SITE AREA: 69,077.5m² (6.91 ha) / 17.07 ac
 OUTPARCEL AREA: 11,781.7m² (1.18 ha) / 2.91 ac
 TOTAL SITE AREA: 80,859.2m² (8.09 ha) / 19.99 ac
 ZONING: SERVICE COMMERCIAL (CS) & SERVICE COMMERCIAL EXCEPTION 3 (CS-3)
 JURISDICTION: TOWN OF WASAGA BEACH
 BOUNDARY INFORMATION: THIS DRAWING IS BASED ON A TOPOGRAPHIC PLAN WITH COMPILED BOUNDARY FROM GEOVERRA (ON) LTD. O.L.S. RECEIVED JUNE 24, 2024.

BUILDING DATA (MG2 REF. FILE - SEPT. 16, 2024)	AREA
TOTAL BUILDING GROSS FLOOR AREA	15,071.3m ² 162,226ft ²
GAS BAR MECHANICAL ENCLOSURE / STORAGE	11.6m ² 125ft ²
GAS BAR WARMING HUT	1.4m ² 15ft ²
SITE DATA (69,077.5m² / 17.07 ACRES)	
LOT COVERAGE	21.8% 15,084.3m ²
LANDSCAPE OPEN SPACE	14.3% 9,876.7m ²
PAVED PARKING AREA	63.9% 44,116.5m ²
COSTCO PARKING DATA	PARKING SPACES
TOTAL PARKING REQUIRED (1 STALL / 18m ² OF GFA)	838
NUMBER OF 3.0m WIDE PARKING SPACES PROVIDED	856
NUMBER OF BARRIER-FREE PARKING SPACES PROVIDED	16
TOTAL COSTCO PARKING SPACES PROVIDED	872
NO. STALLS PROVIDED PER 100m ² OF COSTCO BUILDING AREA	5.78

ZONE PROVISIONS	REQUIRED	PROVIDED
11.3.1 - LOT AREA MINIMUM		
a) LOT SERVED BY A PUBLIC WATER SYSTEM AND A SANITARY WATER SYSTEM	NO MINIMUM	80,859.2m ²
b) LOT SERVED BY A PUBLIC WATER SYSTEM	1,860m ²	80,859.2m ²
c) OTHER LOT	5,000m ²	80,859.2m ²
11.1.2 - LOT FRONTAGE (MINIMUM):		
a) LOT SERVED BY A PUBLIC WATER SYSTEM AND A SANITARY WATER SYSTEM	12m	244.4m
b) LOT SERVED BY A PUBLIC WATER SYSTEM	30m	244.4m
c) OTHER LOT	60m	244.4m
FRONT YARD DEPTH (MINIMUM):	15m	109.6m
EXTERIOR SIDE YARD WIDTH (MINIMUM):	15m	135.6m
INTERIOR SIDE YARD WIDTH (MINIMUM):		
a) WHERE IT ABUTS A C OR M ZONE	3m	17.4m
b) WHERE IT ABUTS ANY OTHER ZONE	7.6m	17.4m
REAR YARD DEPTH (MINIMUM):		
a) WHERE IT ABUTS A C OR M ZONE	3m	16.2m
b) WHERE IT ABUTS ANY OTHER ZONE	7.6m	16.2m
LANDSCAPE OPEN SPACE	10%	14.3%
HEIGHT OF BUILDING (MAXIMUM):	12m	9.4m

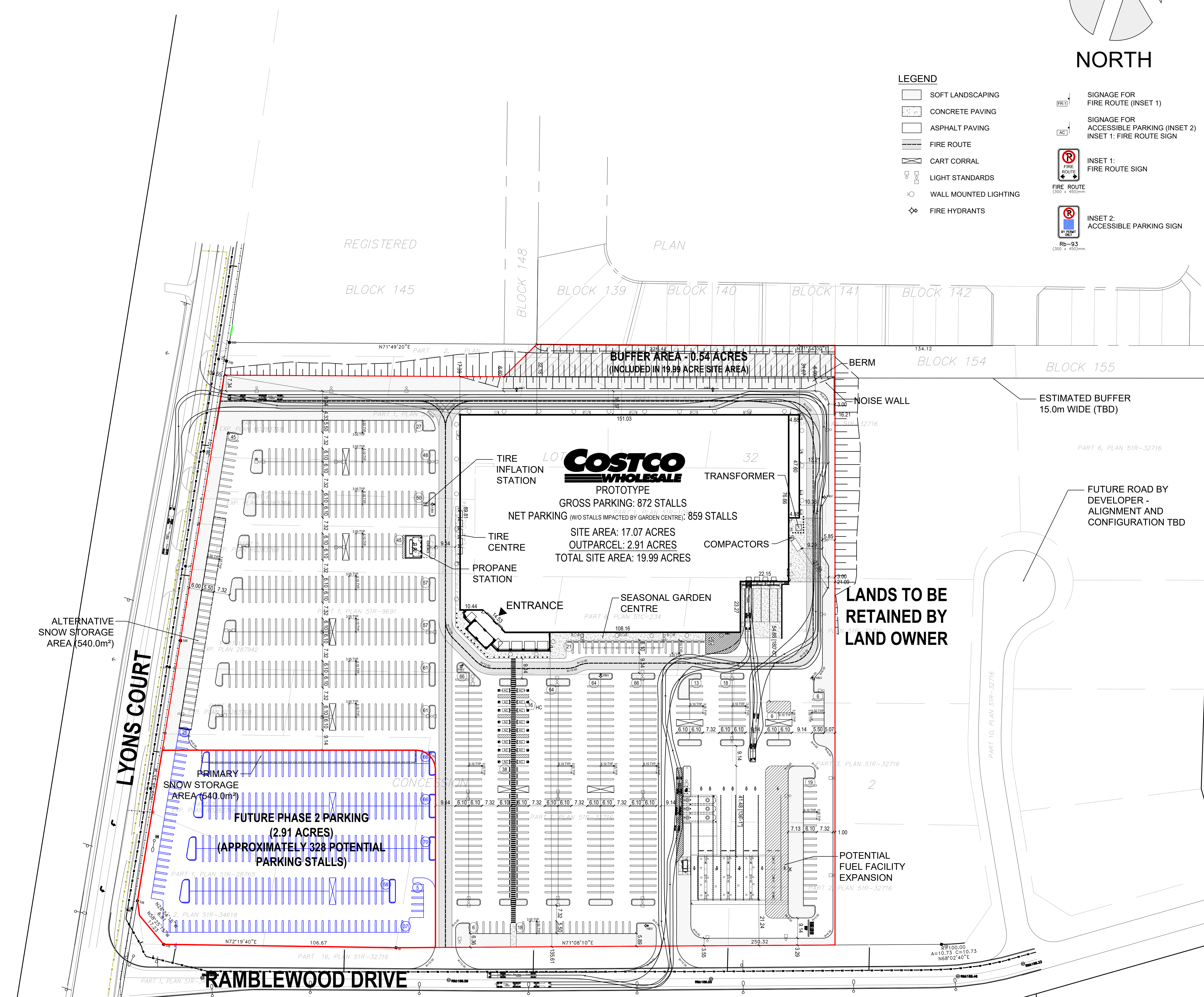
REVISIONS	BY	DATE	APPR.

ISSUED FOR APPROVAL, NOT FOR CONSTRUCTION
 ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

SHEET TITLE
SITE PLAN



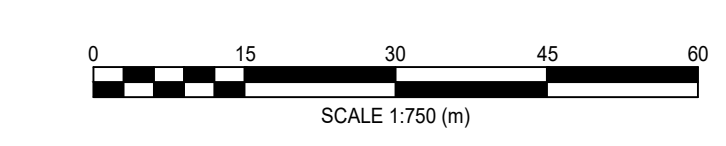
DESIGNED CJM/DSB	DRAWN CJM	CHECKED DSB
SCALE 1:750	DATE FEBRUARY 5, 2025	DWG. NUMBER SP-22
PROJECT NUMBER 221-03728-00-P01	DWG. NUMBER SP-22	



HIGHWAY 26

LYONS COURT

RAMBLEWOOD DRIVE



FILENAME: M:\Users\Cristina\221-03728-00 - Costco Wasaga Beach\WMA\2025_02\Wasaga Beach_SP-22.dwg
 PLOT DATE: Feb 05, 2025 - 12:17 PM



Accessibility Advisory Committee - Site Plan Checklist

Date of AAC review: April 2, 2025

Address: Lyons Court and Ramblewood Drive

Planning Application: Costco – SP00524

Reviewed by (Staff/Planner): _____

Type of Application: 1st Submission of Site Plan Official Plan Plan of Subdivision/Condominium

AAC feedback received and addressed: Yes No

Note:

IASR – Integrated Accessibility Standards Regulation

AODA – Accessibility for Ontarians with Disabilities Act, 2005

OBC – Ontario Building Code

This checklist summarizes the key components of the Design of Public Spaces Standard under the Integrated Accessibility Standards Regulation (Ontario Regulation 191/11) (IASR). The IASR must be referenced in conjunction with this checklist. Exceptions under the IASR are permitted, where applicable.



1. Accessible Parking - Reference 80.32 (IASR)

Item	Assessment	Response	Comments
1	Are there an appropriate number of parking spaces? Do they meet Town/Provincial requirements?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
2	Are the accessible parking spaces in an appropriate location?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
3	Do the access aisles meet the 1.5 m width requirement and are they clearly marked and adjacent to accessible parking space? Note: two adjacent accessible parking spaces may share an access aisle.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
4	Are the access aisles made of a surface that is firm, stable and slip resistant?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Ensure ground surfaces are firm, stable and slip-resistant.
5	Is the access aisles marked by high colour contrast diagonal lines?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
6	Is accessible parking signage vertically posted as per Town/Provincial requirements?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
7	Is the path of travel from the parking spaces to the building appropriate?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
8	Are there curb ramps or depressed curbs provided at the end of each accessible aisle?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	

Additional Comments:

- Locate accessible parking spaces to the nearest accessible entrance.
- Recommend no gratings or other openings are in located on exterior paths of travel, if opening is required, must meet requirements of IASR
- Ensure curb cuts/ramps connecting sidewalks and parking/access aisles are included to allow exterior accessible routes. Where exterior paths of travel cross vehicular routes or intersections, ensure they are clearly marked.
- Two types of accessible parking spaces including Type A “Van Accessible Parking Spaces” minimum of 3.4m wide by 5.8m long and Type B “Accessible Parking Spaces” minimum of 2.4m wide by 5.8m long. Provide an access aisle 59in (minimum) adjacent to the accessible parking spaces (two adjacent accessible parking spaces can share an access aisle). Accessible parking spaces shall include vertical signage and pavement markings marked with the international symbol of accessibility.



2. Exterior Path of Travel - (not to provide a recreational experience) - Reference 80.23 (IASR)

Item	Assessment	Compliance	Comments
1	Are there external ground and paths of travel that enable a person to travel easily from one point to another on the property?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
2	Is the path of travel made of a surface that is firm, stable and slip-resistant?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Ensure ground surfaces are firm, stable and slip-resistant.
3	Is the path of travel a minimum width of 1500 mm?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
	a) Where the clear width of is less than 1500 mm, have passing areas, 1800 mm x 1800 mm been provided at 30 m intervals or less?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
	b) Do the entrances to exterior paths of travel have a clear opening of a minimum of 950 mm, whether the entrance includes a gate, bollard or other design feature?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
4	Is the gradient of the path a maximum of 1:20 (5%) maximum and the cross slope a maximum of 1:50 (2%) Note: if walkway exceeds 5% ramp is required.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
5	Is there an accessible path of travel adjacent to a vehicular route? - Ensure they are clearly marked - It will need to be separated by a cane-detectable curb, guard, or tactile attention indicator surface	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
6	Is there clear headroom of at least 2100 mm? A rail or other barrier with a leading edge that is cane detectable must be provided around the object that is obstructing the head room clearance.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
<p>Additional Comments:</p> <ul style="list-style-type: none"> • Recommend no gratings or other openings are in located on exterior paths of travel, if opening is required, must meet requirements of IASR • Ensure curb cuts/ramps connecting sidewalks and parking/access aisles are included to allow exterior accessible routes. Where exterior paths of travel cross vehicular routes or intersections, ensure they are clearly marked. 			



3. Exterior Path of Travel, Stairs – Reference 80.25 (IASR)

Item	Assessment	Response	Comments
1	Are there stairs that connect to exterior paths of travel?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
2	Do the stairs have treads that have a finish that is slip resistant?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
3	Do the stairs have high tonal contrast markings that extend the full tread width of the leading edge of each step?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
4	Do the stairs have tactile walking surface indicators?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
5	Are the handrails graspable along the entire length of both sides of the ramp and terminate in a manner as to not obstruct pedestrian level or create a hazard?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
<p>Additional Comments:</p> <ul style="list-style-type: none"> Recommend no gratings or other openings are in located on exterior paths of travel, if opening is required, must meet requirements of IASR 			



4. Exterior Path of Travel, Ramps – Reference 80.24 (IASR)

Item	Assessment	Response	Comments
1	Are there ramps to help people safely and independently negotiate level changes on walkways and other pedestrian routes?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
2	Is the ramp made of a surface that is firm, stable and slip-resistant?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Ensure ground surfaces are firm, stable and slip-resistant.
3	Is the path of travel a minimum width of 900 mm?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
4	Is the running slope of the ramp a maximum of 1:15? And the cross slope a maximum of 1:50?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
5	Is there a clear space/landing of 1670 mm x 1670 mm at the top and bottom of the ramp?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
6	Are the handrails graspable along the entire length of both sides of the ramp and terminate in a manner as to not obstruct pedestrian level or create a hazard?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
<p>Additional Comments:</p> <ul style="list-style-type: none"> Recommend no gratings or other openings are in located on exterior paths of travel, if opening is required, must meet requirements of IASR 			



5. Exterior Path of Travel, Curb Ramps and Depressed Curbs – Reference 80.26, 80.27 (ISAR)

Item	Assessment	Response	Comments
1	Are there curb ramps or depressed curbs to help people safely and independently negotiate level changes on walkways and other pedestrian routes?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
2	Is the ramp and depressed curbs made of a surface that is firm and stable?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Ensure ground surfaces are firm, stable and slip-resistant.
3	Is the width of the curb ramp and depressed curbs a minimum 1200 mm, exclusive of any flared sides and does it have does it have suitable drainage, to prevent water, snow and ice accumulation?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
4	Are Tactile Walking Surface indicators provided on external path of travel where curb ramps and depressed curbs are provided? (raised tactile profiles, high tonal contrast with adjacent surface, located at bottom of curb ramp, set back between 150 mm and 200 mm from the curb edge, extend full width and minimum of 610 mm in depth)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
5	Is the depressed curb flush with the roadway and aligned with the direction of travel?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
<p>Additional Comments:</p> <ul style="list-style-type: none"> Recommend no gratings or other openings are in located on exterior paths of travel, if opening is required, must meet requirements of IASR 			



6. Passenger Loading Zones – Reference 3.8.3.1 (OBC)

Item	Assessment	Response	Comments
1	Is a passenger loading zone provided?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
2	Is the passenger loading zone as close as possible to the nearest accessible entrance? (within 30 m)	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
3	Has a side access aisle, curb ramp and signage been provided adjacent and parallel to the vehicular pull-up space?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
4	Is there vertical signage indicating passenger loading zone?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
<p>Additional Comments:</p> <ul style="list-style-type: none"> Recommend no gratings or other openings are in located on exterior paths of travel, if opening is required, must meet requirements of IASR 			



7. Access and Entrances – Reference 3.8.3.3 (OBC)

Item	Assessment	Response	Comments
1	Is the entrance accessible?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
2	Are there directional signage provided to guide users to nearest accessible entrance?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
3	If the building has 4 or 5 pedestrian entrance, at least 2 entrances shall be barrier free If the building has more than 5 pedestrian entrances, at least 50% of the entrances shall be barrier free	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
4	Is there a safe access route to the building entrance from the parking area?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
5	Is the access route well-lit at night?	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	
<p>Additional Comments:</p> <ul style="list-style-type: none"> Recommend no gratings or other openings are in located on exterior paths of travel, if opening is required, must meet requirements of IASR 			

Motion to Reconsider by Member Verkindt

Re: Accessibility Advisory Committee Meeting Schedule

Whereas the Wasaga Beach Accessibility Advisory Committee previously held monthly meetings as per the original process prior to the adjustment on September 4, 2024; and

Whereas Section 8.03(c) of the Procedure By-law allows for the reconsideration of the meeting schedule where the decision was made within a year of this motion; now therefore

Be It Resolved That the Wasaga Beach Accessibility Advisory Committee hereby returns to holding monthly meetings as per the original process prior to the adjustment on September 4, 2024.