



Wasaga Beach K-12 Catholic School and Community Theatre

Project Address, City, Ontario Postal Code

ISSUED FOR SITE PLAN APPROVAL - SUBMISSION 1 - February 21st, 2025

CONSULTING TEAM

ARCHITECTURAL

SALTER PILON ARCHITECTURE INC.
151 FERRIS LANE, SUITE 400
BARRIE, ONTARIO
L4M 6C1
T: 705-737-3530
F: 705-737-3539

STRUCTURAL

TACOMA ENGINEERS INC.
570 BRYNE DR
BARRIE, ONTARIO
L4N 9P6
T: 705-735-1875

MECHANICAL / ELECTRICAL

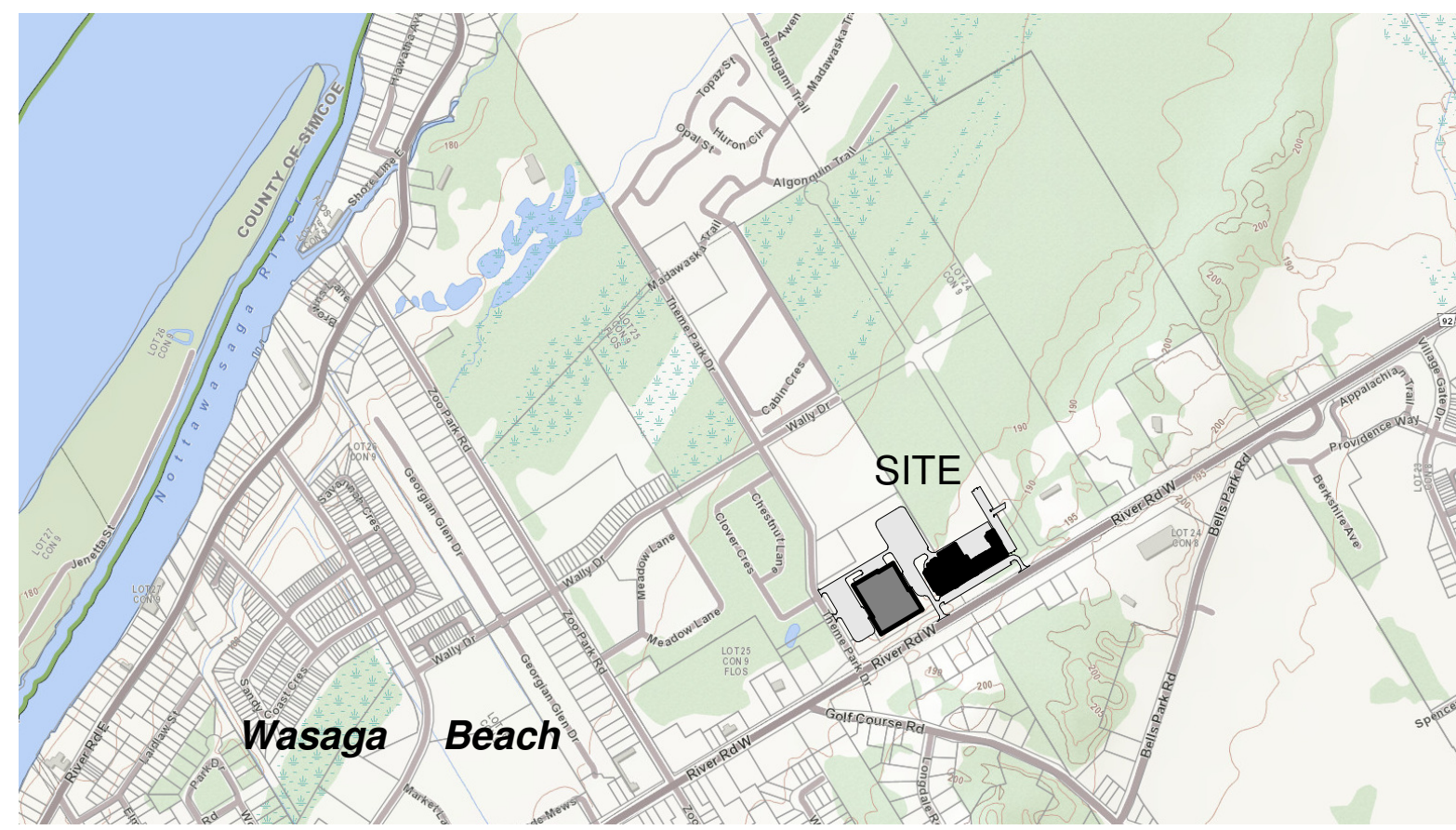
DEI CONSULTING ENGINEERS
55 NORTHLAND RD
WATERLOO, ONTARIO
N2V 1Y8
T: 519-725-3555

CIVIL

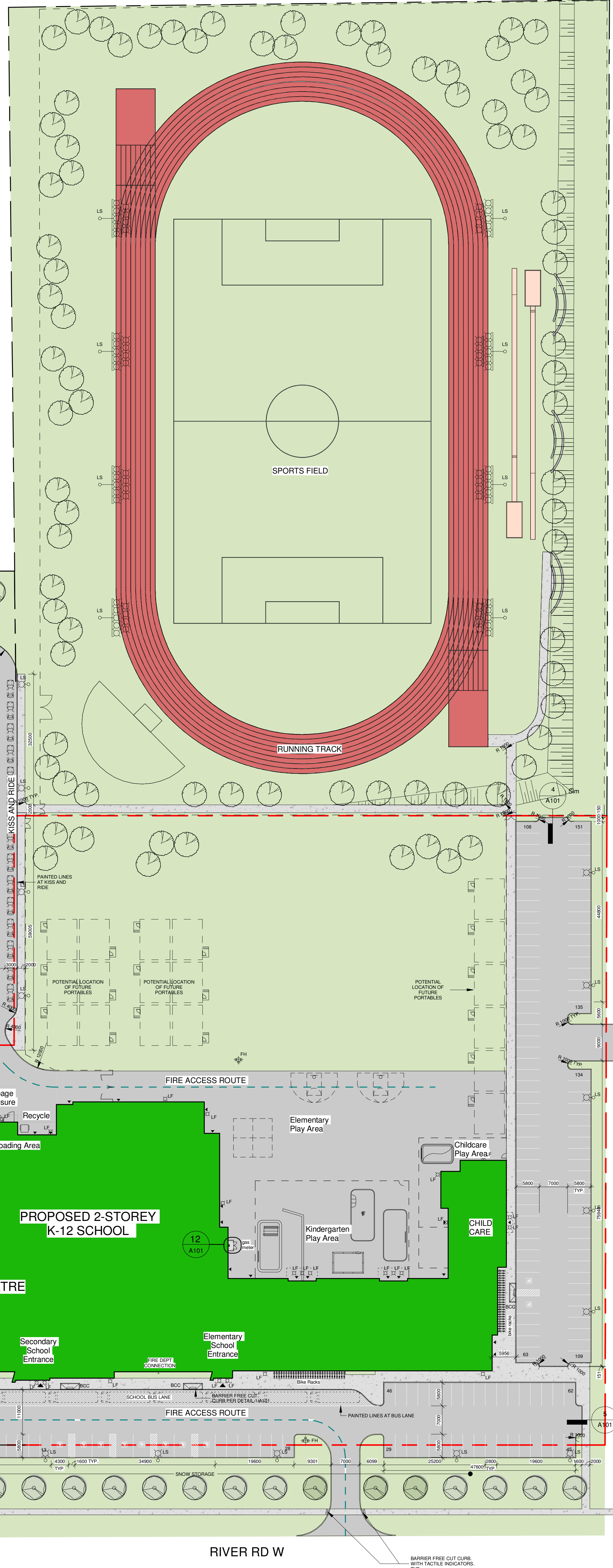
CROZIER CONSULTING ENGINEERS
70 HURON ST SUITE 100
COLLINGWOOD, ONTARIO
L9Y 4L4
T: 705-446-3510

LANDSCAPE

HILL DESIGN STUDIO INC.
1601 RIVER ROAD E #303
KITCHENER, ONTARIO
N2A 3YA
T: 226-686-0700



2 Key Plan
N.T.S.



SITE PLAN GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXTENT OF THE CONTRACT LINE INDICATED ON THE SITE PLAN PLUS ANY WORK SPECIFICALLY NOTED OUTSIDE OF THAT LINE. ALL WORK DONE OUTSIDE OF THESE LIMITS IS AT THE CONTRACTOR'S RISK AND SHALL BE AT THE CONTRACTOR'S RISK AND SHALL BE AT THE CONTRACTOR'S RISK.
- CONTRACTOR IS TO RESTRICT ALL WORK, EQUIPMENT, AND MATERIALS TO THE CONTRACT LINE UNLESS OTHERWISE NOTED. CONTRACTOR IS TO RESTRICT ALL WORK, EQUIPMENT, AND MATERIALS TO THE CONTRACT LINE UNLESS OTHERWISE NOTED.
- LOCATE LOCATED MATERIALS & TRENCH AS DIRECTED. AT COMPLETION OF PROJECT ANY EXCESS MATERIAL IS TO BE REMOVED AND RE-AREA MADE GOOD TO ARCHITECT'S SATISFACTION.
- FOR TRENCHING & BACKFILLING OF ALL SERVICE LINES AND DIVISION OF RESPONSIBILITY, REFER TO APPROPRIATE SECTIONS IN SPECIFICATIONS.
- IF ANY AND AS PER TRENCH TO EXISTENCE SPECIFICATIONS AND PLANTER AREAS INDICATED ON DRAWINGS, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED AND ABOVE TRENCH, EXCEPT FOR EXISTING. PROVIDE SOILING TO AREA INDICATED AND TERMINATE AT EXTENT OF CONTRACT LINE. SEE SPECIFICATIONS BY PROPERTY LINES TO TRENCHING & BACKFILLING OF ALL SERVICE LINES AND DIVISION OF RESPONSIBILITY, REFER TO APPROPRIATE SECTIONS IN SPECIFICATIONS.
- NOTE THAT EXACT LOCATIONS OF ALL NEW MECHANICAL & ELECTRICAL ITEMS ARE APPROXIMATE UNLESS OTHERWISE NOTED. ADJUST LOCATION AS REQUIRED AND AS APPROVED BY CONSULTANT TO SITE CONDITIONS.
- NOTE THAT ALL MECHANICAL AND ELECTRICAL UNDERGROUND SERVICE LINES INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE INDICATED AS SUCH. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT TYPES, LOCATIONS AND DEPTHS OF ALL UNDERGROUND SERVICES IN AREA OF NEW CONSTRUCTION. CONTRACTOR SHALL VERIFY THE LOCATION, DEPTHS, ETC. AND VERIFY THEIR LOCATION WITH THE APPROPRIATE AUTHORITIES BEFORE EXCAVATING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE ACCESS TO ALL ADJACENT PROPERTIES AND TO THE PUBLIC AT ALL TIMES.
- REFER TO CIVIL DRAWINGS FOR SITE SERVICES AND GRADING, EROSION AND SEDIMENT CONTROL, STORM WATER MANAGEMENT AND DRAINAGE, AND ANY OTHER RELATED WORKS.
- REFER TO MECHANICAL DRAWINGS FOR PLUMBING, SCHEDULING, TREE AND SHRUB LAYOUT / SCHEDULE INCLUDING PRESERVATION AND REMOVAL, PAINT, VARNISH, SITE AMENITIES, AND ANY OTHER RELATED WORKS.
- REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING, POWER, CISTERNS, AND ANY OTHER RELATED WORKS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DRAWINGS FROM ALL DISCIPLINES. ALL DRAWINGS ARE TO BE CHECKED AND VERIFIED ON THE JOB. ANY DISCREPANCIES ARE TO BE REPORTED TO THE CONSULTANT IMMEDIATELY. ALL DRAWINGS REMAIN THE PROPERTY OF THE CONSULTANT. ONLY LATEST APPROVED DRAWINGS ARE TO BE USED FOR CONSTRUCTION.

SITE PLAN LEGEND:

- POLE MOUNTED LIGHT STANDARD AS PER ELEC. DWGS
- PROPERTY LINE / EXTENT OF CONTRACT
- PART LOT / EASEMENT LINE
- FIRE ACCESS ROUTE
- BENCH AS PER LANDSCAPE DWGS
- BIKE RACK AS PER LANDSCAPE DWGS
- PICNIC TABLE AS PER LANDSCAPE DWGS
- MAN-HOLE AS PER CIVIL DWGS
- CATCH BASIN / MAN-HOLE AS PER CIVIL DWGS
- FIRE HYDRANT AS PER CIVIL DWGS
- METAL BOLLARD
- POST MOUNTED SIGN
- BOREHOLE LOCATION
- IB / SIB PER SURVEY
- BARRIER FREE CUT CURB
- TRAFFIC CALMING BUMP
- BUILDING ENTRANCE
- BARRIER FREE BUILDING ENTRANCE
- ASPHALT PAVEMENT
- CONCRETE PAVING / SIDEWALK
- STAMPED CONCRETE
- HEAVY-DUTY ASPHALT
- GRASS / SOD
- EXISTING AREA TO REMAIN.

CHILD CARE - PRESCHOOL PLAY YARD
Area Required = 134.4m² (24x 5.6m)
Area Provided = 114 sqm

CHILD CARE - INFANT PLAY YARD
Area Required = 56.0m² (10x 5.6m)
Area Provided = 275 sqm

CHILD CARE - TODDLER PLAY YARD
Area Required = 84m² (15x 5.6m)
Area Provided = 82 sqm

PROJECT STATISTICS		
SITE SURVEY		
PART OF THE SOUTH HALF OF LOTS 24 AND 25 CONCESSION 9, CECILIA PARK, TOWNSHIP OF FLOIS NOW PART OF THE TOWN OF WASAGA BEACH COUNTY OF SIMCOE		
SITE DESCRIPTION		
Zoning By-Law 2003-60 Zone Designation:		
BUILDING CLASSIFICATION		
Ontario Building Code 2012 - Part 3 Occupancy Classification - Group A, Division 2 (School with Child Care Facility) Two Storeys (Above Grade)		
BUILDING STATISTICS	EXISTING	PROPOSED
BUILDING AREA - FOOTPRINT	0.0 m ²	7 024.117 m ²
ACCESSORY STRUCTURE AREA - FOOTPRINT	0.0 m ²	0.0 m ²
TOTAL - FOOTPRINT	0.0 m ²	7 024.117 m ²
GROSS FLOOR AREA (Accessory Structure Not Included)	0.0 m ²	11 425.475 m ²
SITE STATISTICS		
ZONING - By-Law 84-63, Section 12 & Section 3.18	R1-42 - Urban Residential Type One	
LOT AREA (Min.)	465 m ²	29 774 m ²
LOT FRONTAGE - Interior Lot (Min.)	12.0 m	185.8m
FRONT YARD - South (Min.)	3 m	29.98m
INTERIOR SIDE YARD - West (Min.)	3 m	7.5m
REAR YARD - North (Min.)	7.6 m	15.46m
EXTERIOR SIDE YARD - East (Min.)	6 m	6m
CONCRETE AREA - Surfaced Walk	N/A	1 635.97m ²
ASPHALT AREA - Play Yard	N/A	3 577.76m ²
ASPHALT AREA - Parking & Drive Aisles	N/A	5 555.91m ²
LANDSCAPED AREA	N/A	8 980.24m ²
LANDSCAPE COVERAGE	30 %	33.54 %
LOT COVERAGE (Max.)	35 %	26.23 %
BUILDING HEIGHT (Max. to Top of Parapet)	15 m	12.4 m

PROJECT STATISTICS		
PARKING STATISTICS		
ZONING - By-Law 2003-60, Section 3.38		
PARKING SPACE SIZE	5.5 x 2.7 m	5.8 x 2.80 m
PARKING SPACE SIZE - Accessible w/Shared Access Aisle	5.7 x 3.4 x 1.5 m	5.8 x 3.4 x 1.5 m
PARKING AISLE - Two-Way & One-Way (Min.)	6.0 m	7.0 m
TOTAL PARKING SPACES	224	151
ELEMENTARY SCHOOL CALCULATION : Schools, Public and/or Private (Elementary)	78	57
2 spaces per classroom (partial classroom counts as one) - 78 spaces		
SECONDARY SCHOOL CALCULATION : Schools, Public and/or Private (Secondary)	126	80
6/3 spaces per classroom + 1 space per office = 114 spaces		
(1) 1 space per 100 sqm of floor area of the gymnasium (Open shared with Elementary School) = 811.42m ² / 100 = 8.11 spaces		
(1) 1 space per 100 sqm of gross floor area in the auditorium = 112.81m ² / 100 = 1.13 spaces		
CHILD CARE PARKING CALCULATION : Uses permitted by this By-Law other than those listed in the table	6	4
2 spaces per classroom = 2 x 3 = 6 spaces		
ACCESSIBLE PARKING CALCULATION : 8	10	
BICYCLE PARKING CALCULATION : School	107	107
1 space per 100 square metres of gross floor area		

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 & 9	IBC REFERENCE
1	PROJECT DESCRIPTION <input checked="" type="checkbox"/> NEW ADDITION <input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE	PART 3
2	MAJOR OCCUPANCY(S) SECONDARY SCHOOL, ELEMENTARY SCHOOL, CHILD CARE	3.2.2.24
3	BUILDING AREA (m ²) 7 024.117	1.1.3.2.
4	GROSS AREA (m ²) 11 425.475 (Level 1 + Level 2)	1.1.3.2.
5	NUMBER OF STOREYS 2 STOREY	3.2.1.1. & 1.1.3.2.
6	HEIGHT OF BUILDING (m) 12.4m	3.2.2.10. & 3.2.5.5.
7	NUMBER OF STREETS/ACCESS ROUTES 1	3.2.2.24
8	BUILDING CLASSIFICATION GROUP 'A' - DIVISION 2, up to 6 Storeys, Any Area, Sprinklered	3.2.2.24
9	SPRINKLER SYSTEM PROPOSED <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> ADDITION <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.24
10	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9.
11	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4.
12	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7.
13	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6.
14	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE	3.2.2.24 3.2.2.24
15	MEZZANINE(S) AREA (m ²) N/A	3.2.1.1.
16	OCCUPANT LOAD BASED ON <input type="checkbox"/> m ² / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING Group 'A' LOAD 1151 Persons	3.1.1.7.
17	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8.
18	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	M.2.1.2(1) & 3.3.1.19(1) 3.2.2.24
19	REQUIRED FIRE RESISTANCE RATING (FRR) FLOOR ASSEMBLIES LOAD BEARING WALLS & COLUMNS ROOF RATING	1 HOUR 1 HOUR N/A
20	SPATIAL SEPARATION N/A	3.2.3.

No. _____ Revision _____ Date _____

Orientation

PROJECT NORTH

All dimensions to be checked and verified on the job by the Contractor. Any discrepancies are to be reported to the Consultant prior to action. Only the latest approved drawings to be used for construction in conformance with all applicable codes, by-laws and regulations. All drawings remain the property of the Consultant.

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Project Information
Wasaga CSS & CES

River Road West, Wasaga Beach Ontario

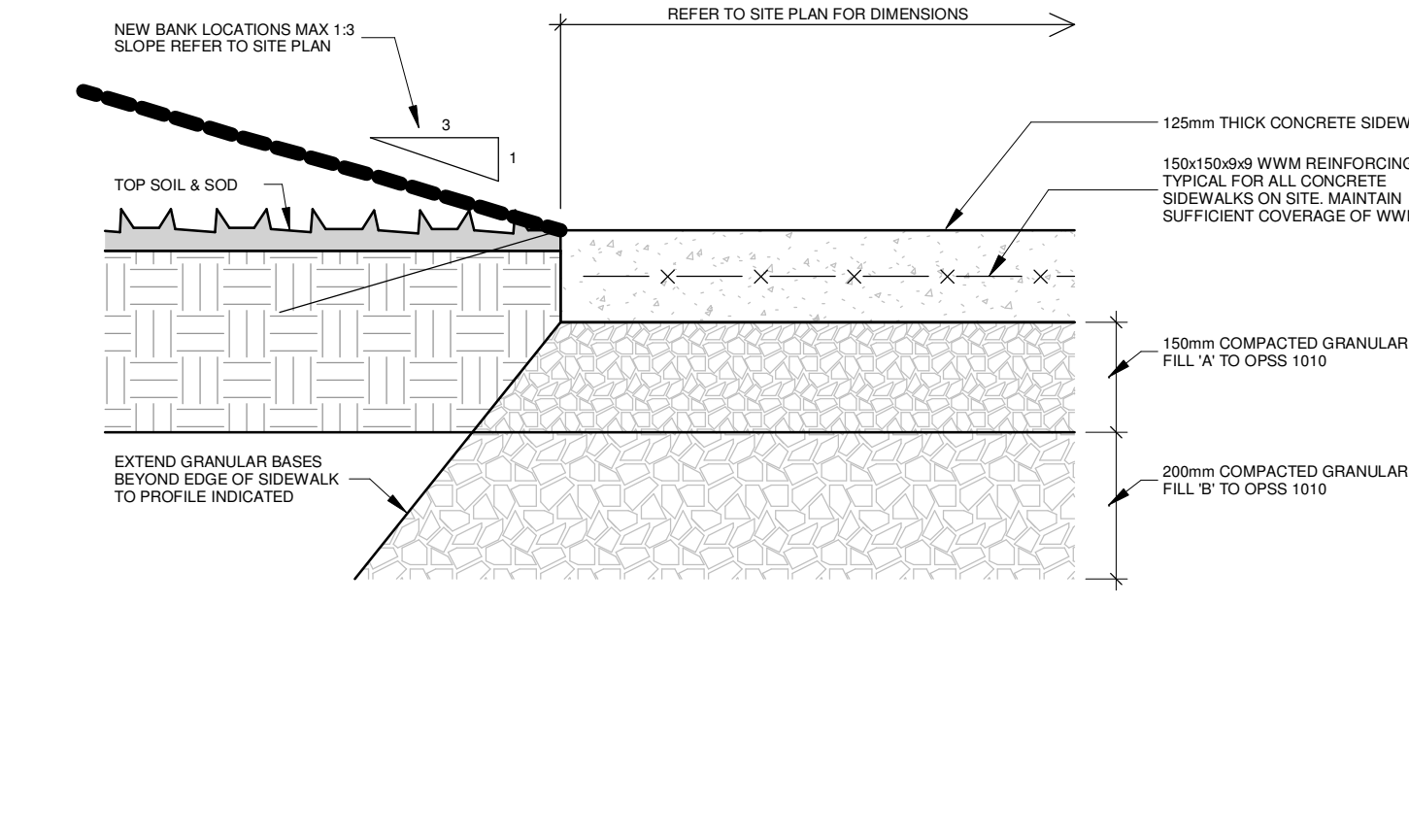
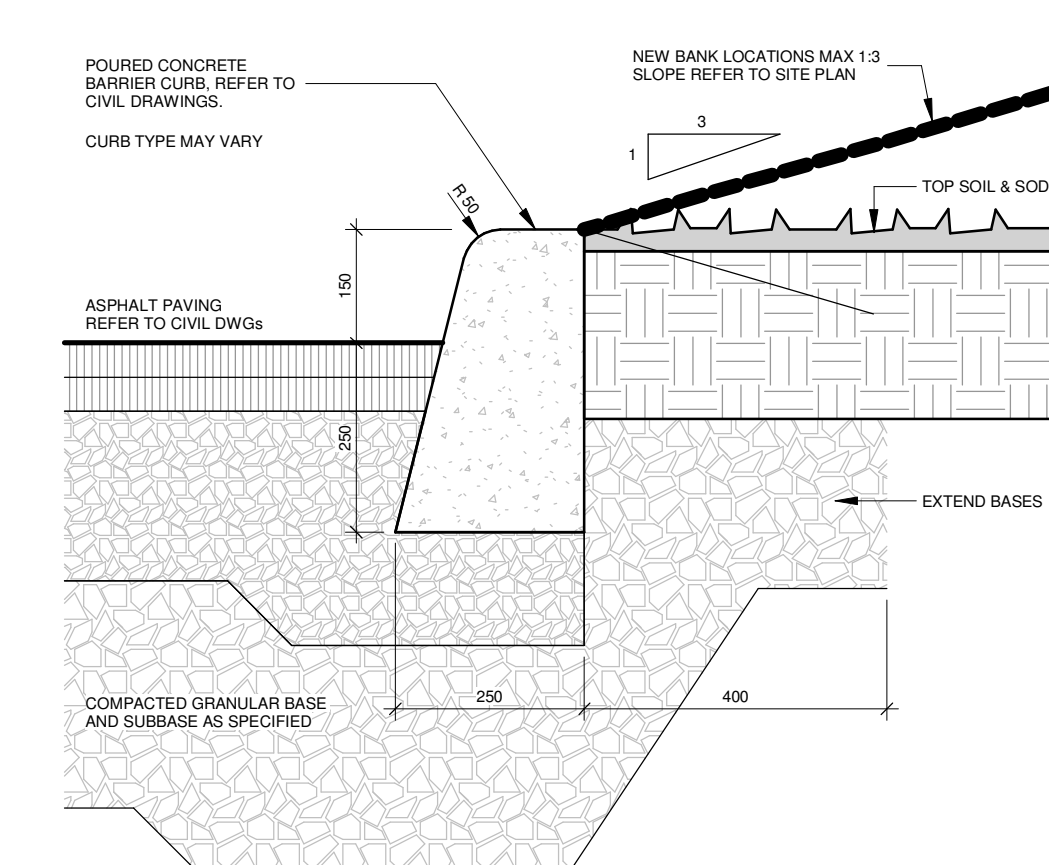
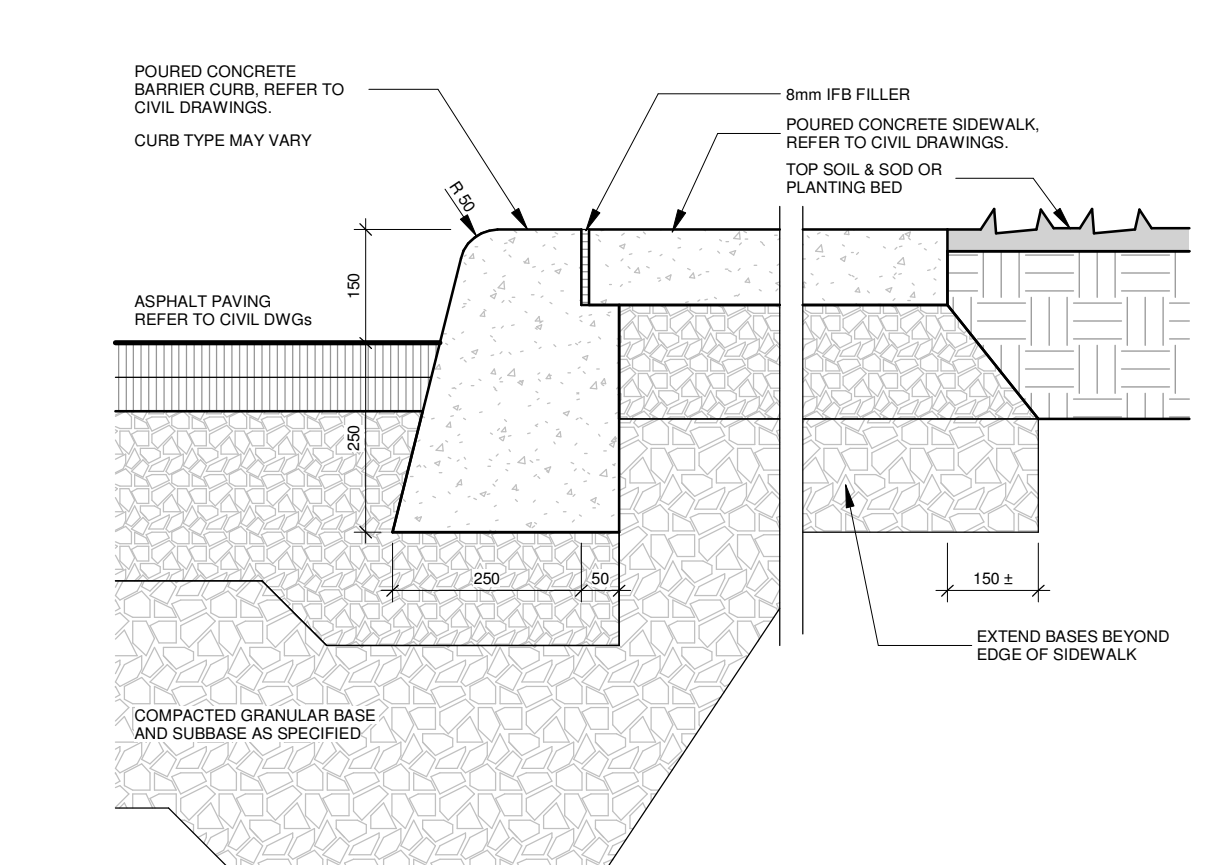
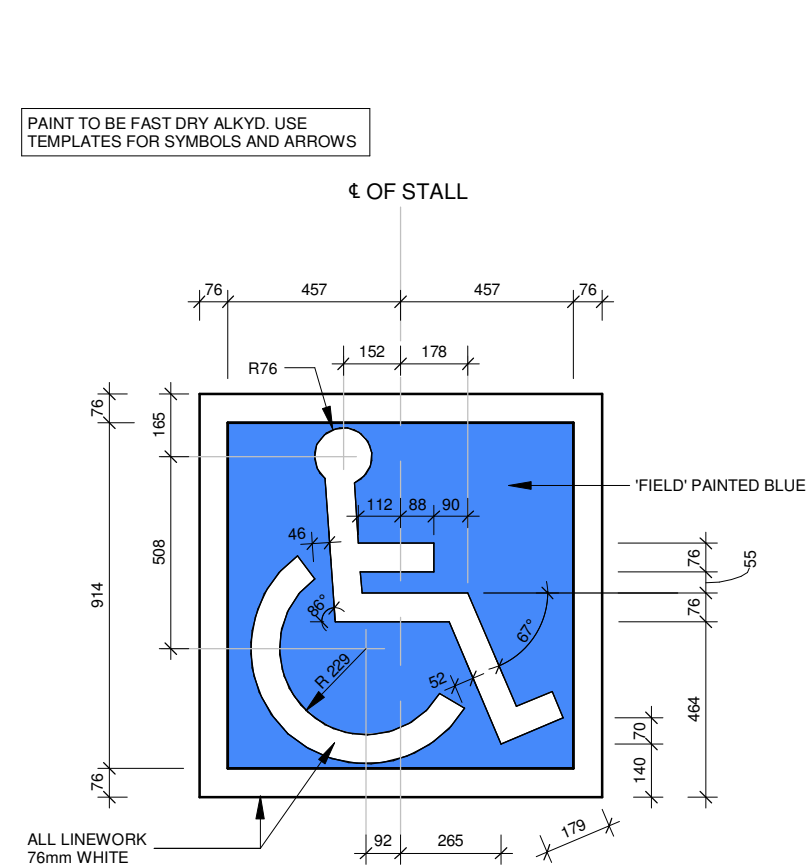
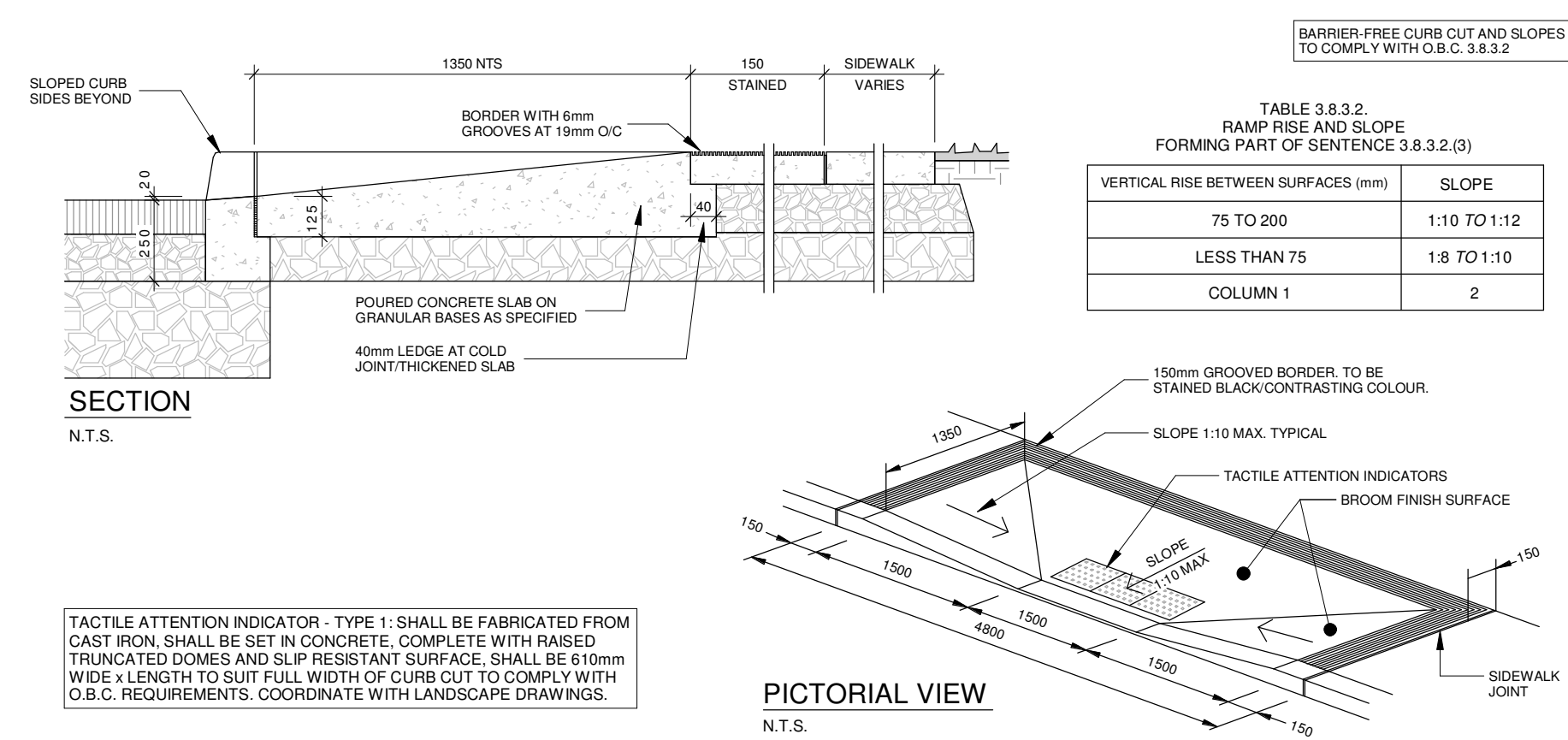
For
SMCDSB

Drawing Title
Site Plan

Date February 21, 2025 Project No 23019 Drawing No A100
Drawn by JJ
Scale As indicated

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1 Site Plan
1 : 550



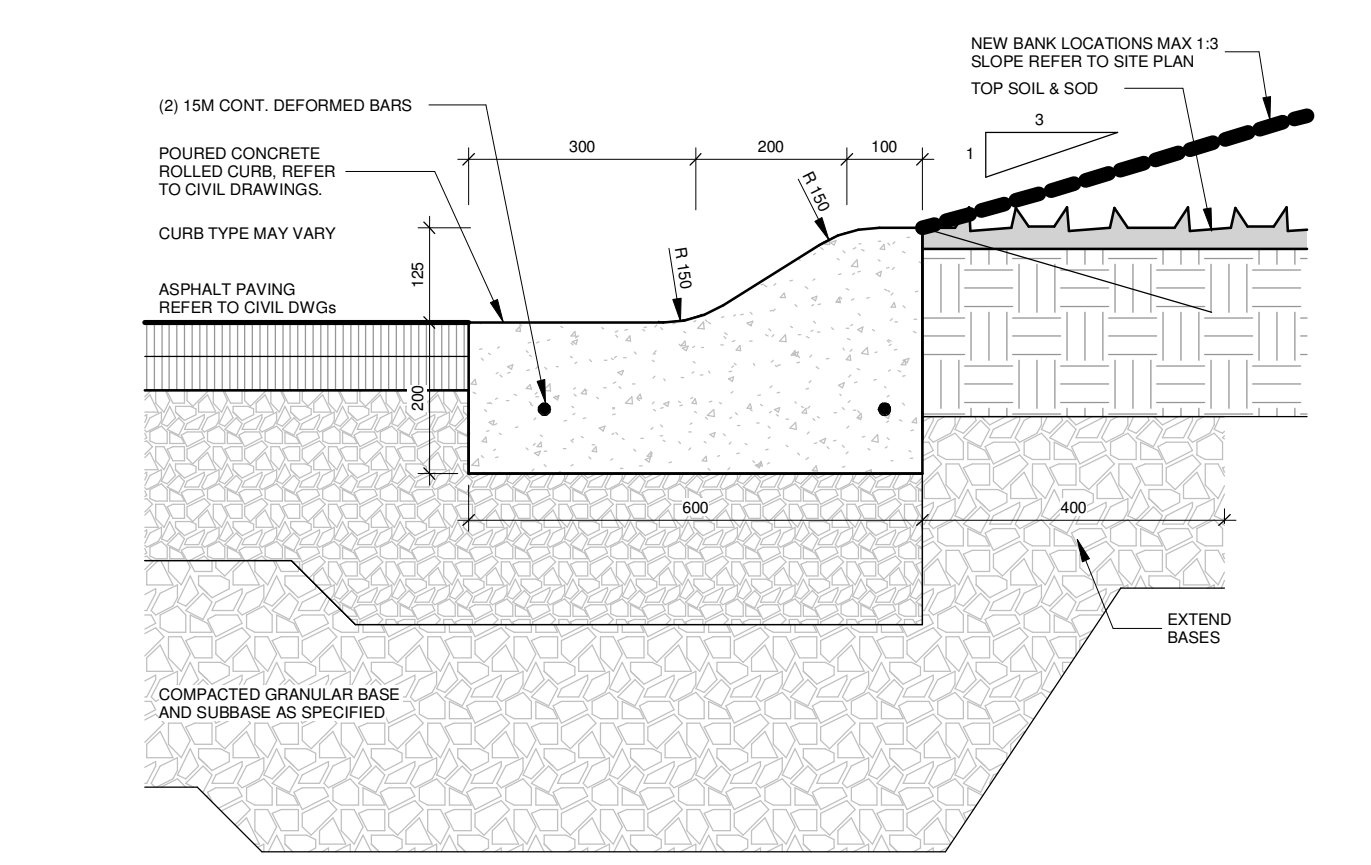
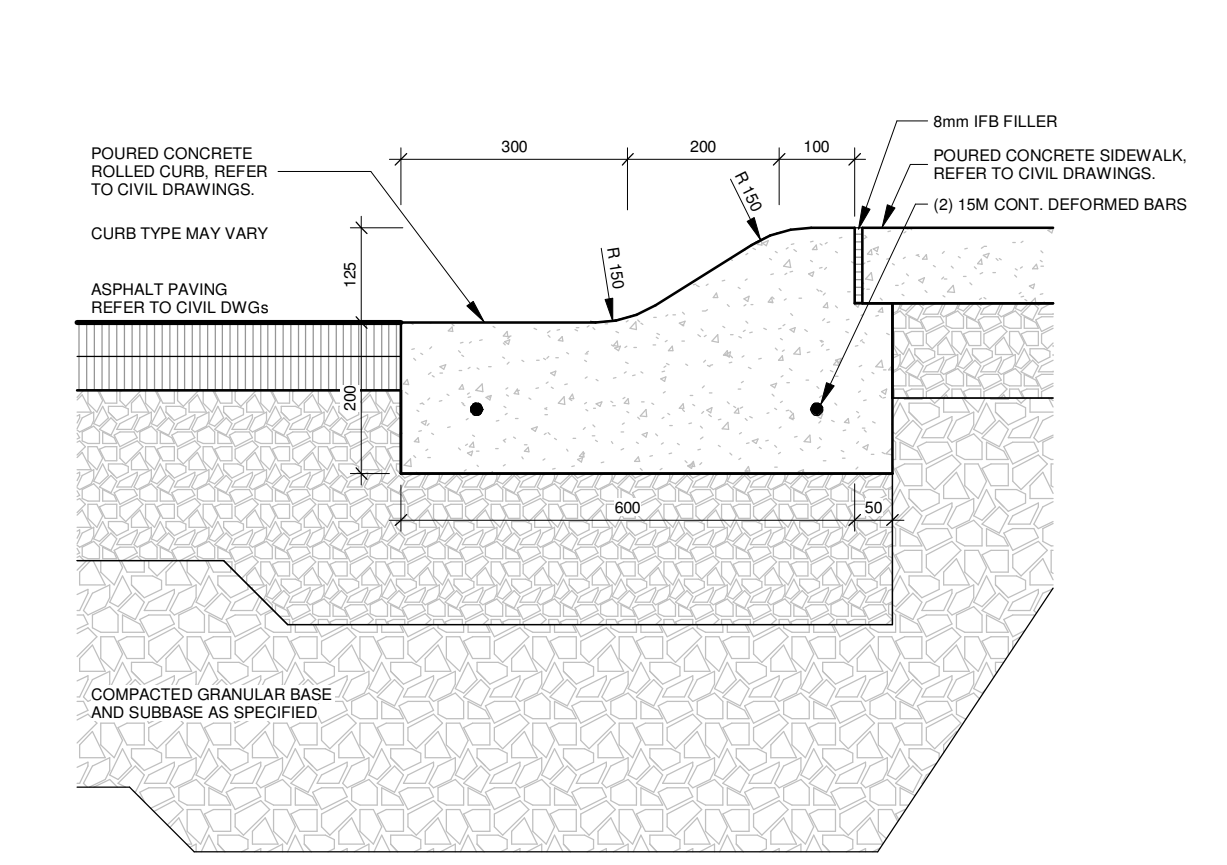
1 B.F. Curb Cut Detail
Scale as Noted

2 B.F. Pavement Logo
1:20

3 Barrier Curb At Sidewalk
1:10

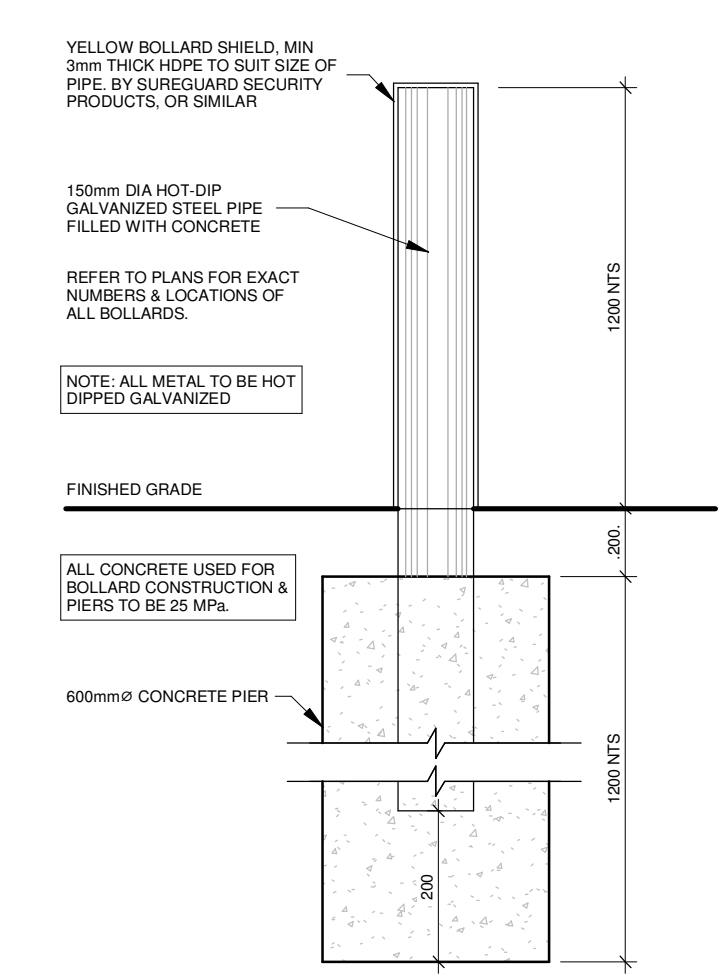
4 Barrier Curb At Sodding
1:10

5 Concrete Sidewalk Edge
1:10

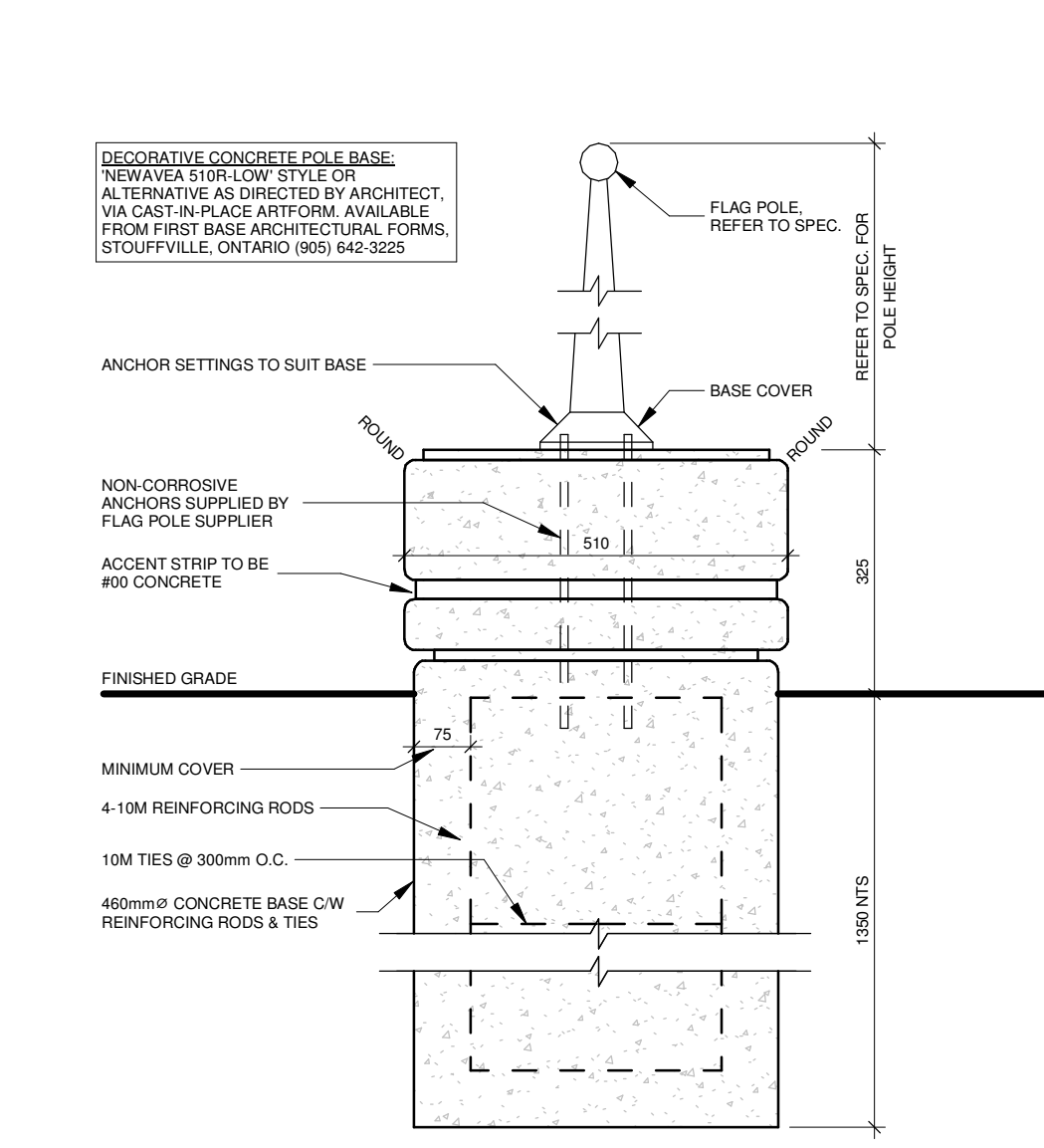


6 Rolled Curb At Sidewalk
1:10

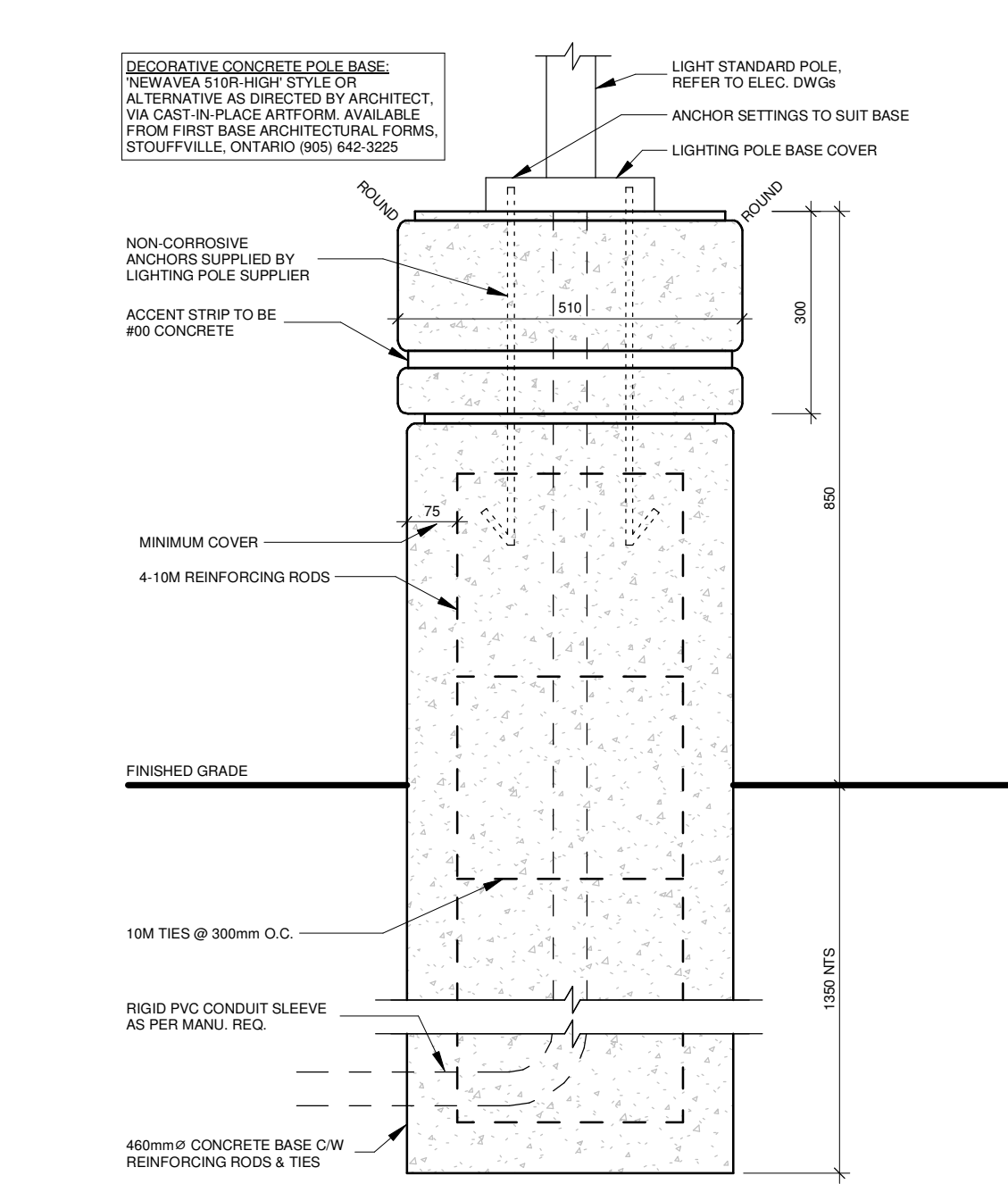
7 Rolled Curb At Sodding
1:10



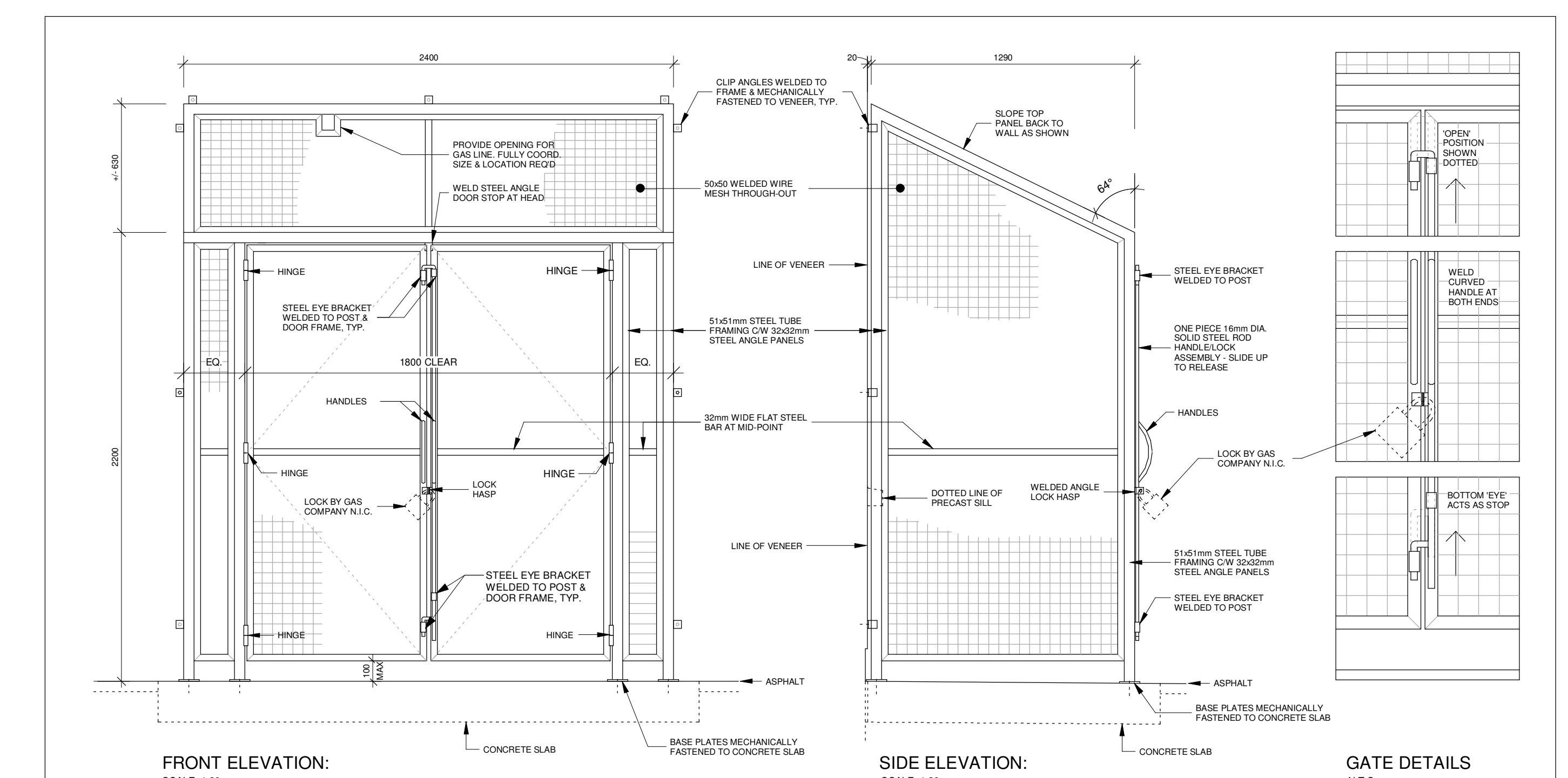
8 Steel Bollard Detail
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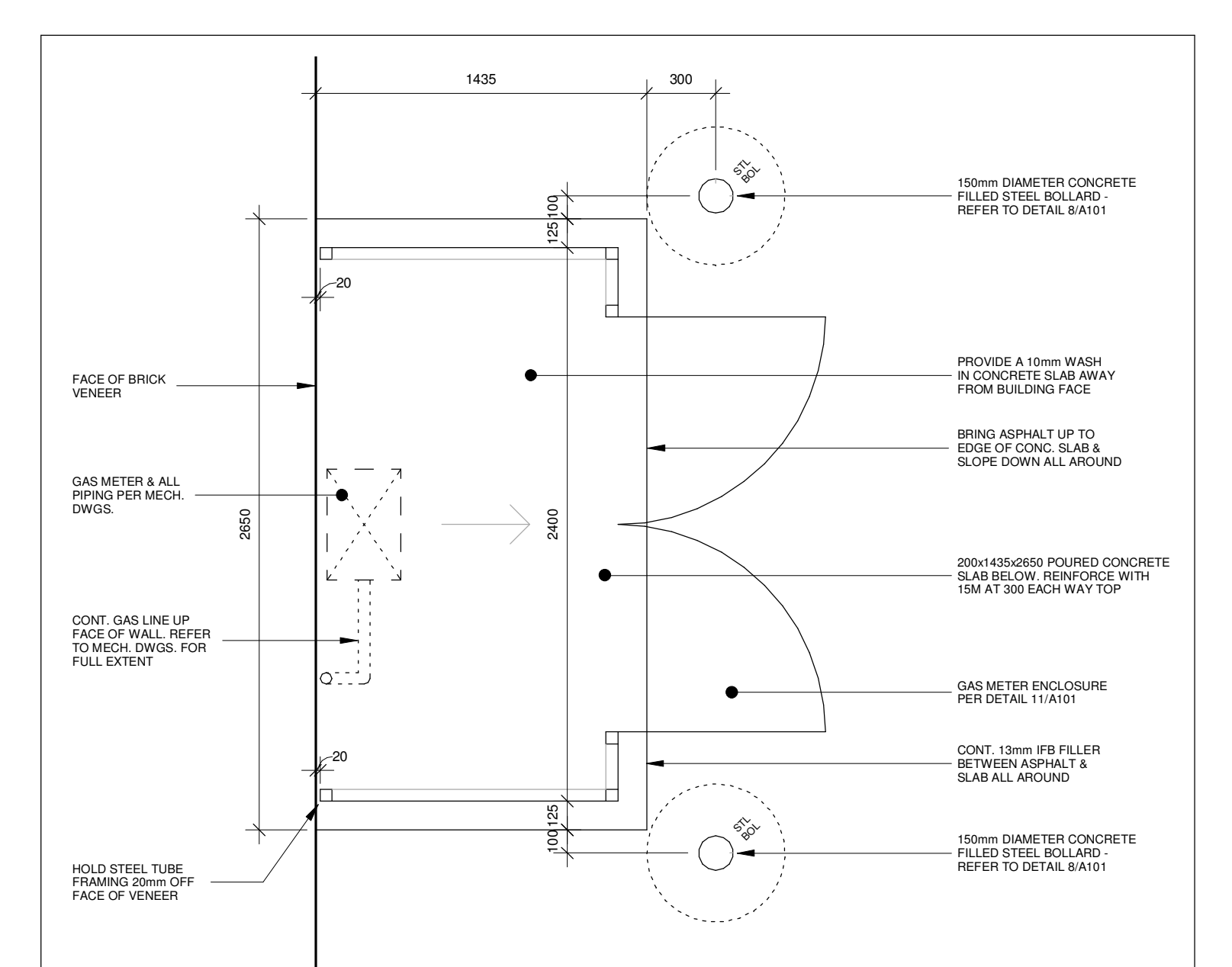
9 Flag Pole Base Detail
1:10



10 Light Standard Base Detail
1:10

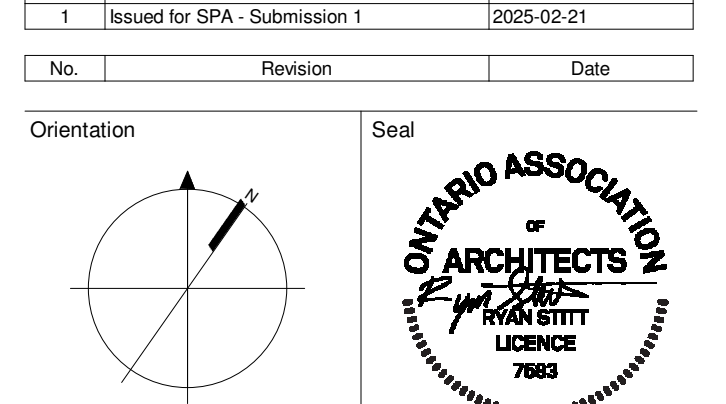


11 Gas Meter Enclosure
1:20



12 Gas Meter Enclosure Plan
1:25

No.	Revision	Date
1	Issued for SPA - Submission 1	2025-02-21



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Project Information

Wasaga CSS & CES

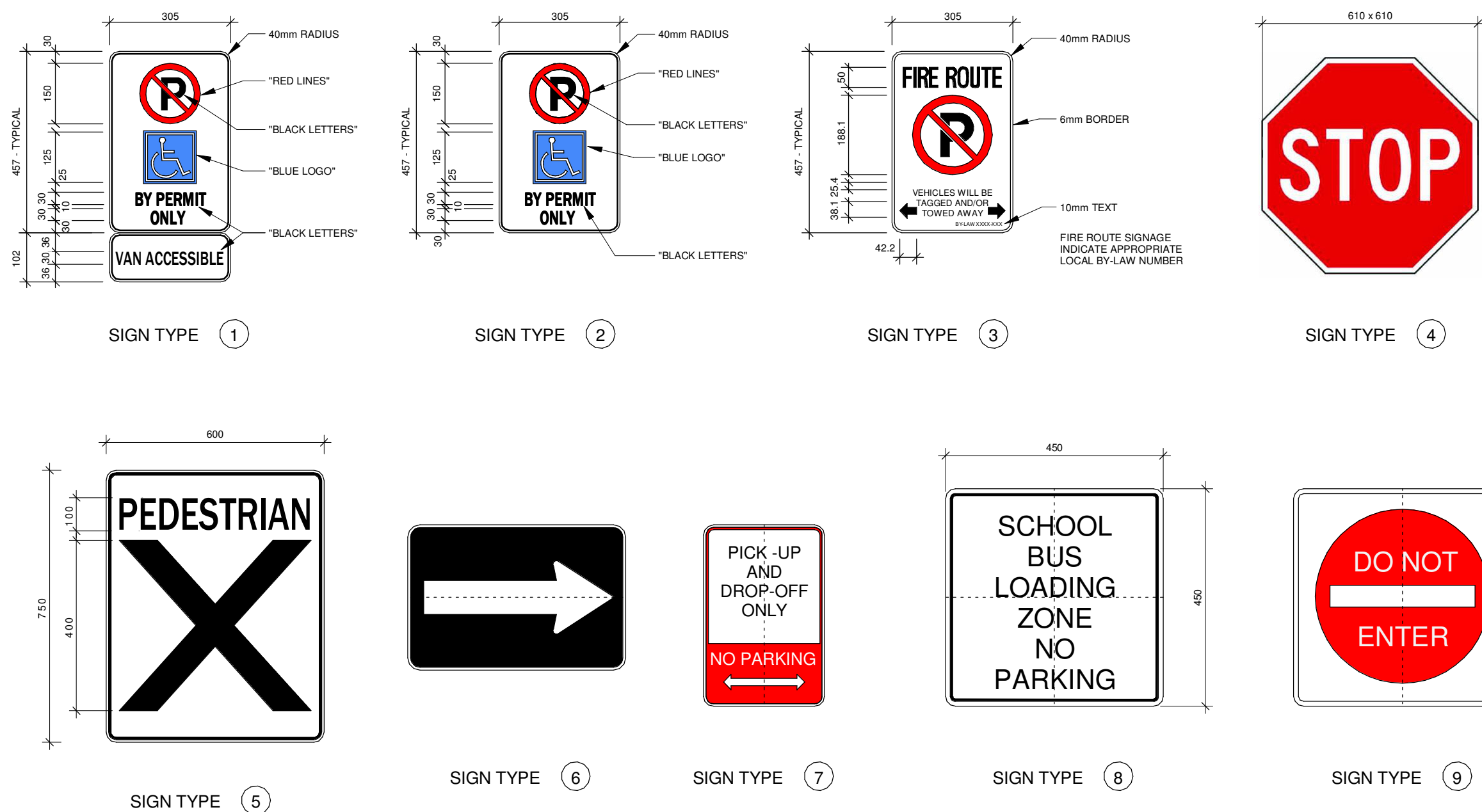
River Road West, Wasaga Beach Ontario

For
SMCDSB

Drawing Title
Site Details

Date	February 21, 2025	Project No	23019	Drawing No	A101
Drawn by	JJ				
Scale	As indicated				

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GENERAL SIGNAGE NOTES

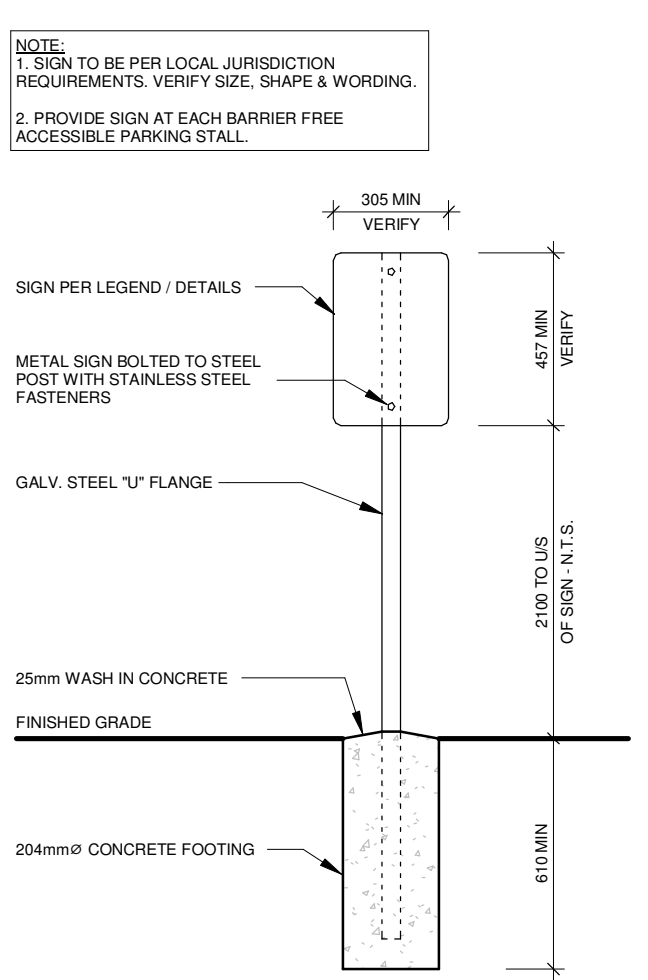
FIRE ROUTE SIGNAGE - INDICATE APPROPRIATE LOCAL BY-LAW NUMBER.

FINISHED SIGNS AND SYMBOLS SHALL BE APPLIED TO 30mm UTILITY GRADE ALUMINUM WITH BRIGHT WHITE MILK BAKED FINISH ON BOTH SIDES. ALL INKS SHALL BE GLOSSY.

ALL LETTERING AND COLOURS TO MEET M.T.O. STANDARDS.

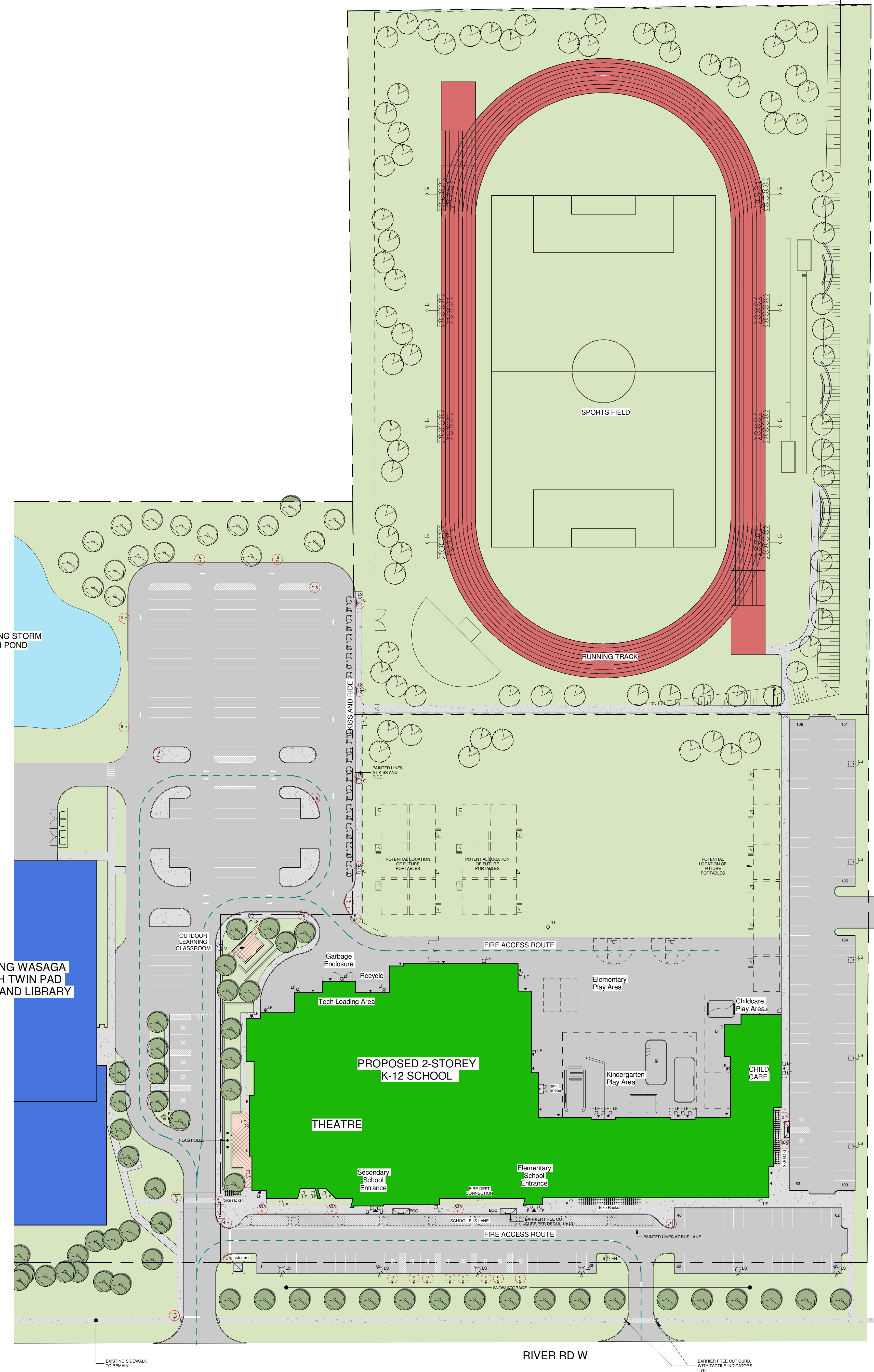
ALL SIGNAGE TO ONTARIO TRAFFIC MANUAL / MUNICIPAL STANDARDS AND DETAILS MUST BE VERIFIED & APPROVED PRIOR TO INSTALLATION. REFER TO SITE PLAN FOR NUMBERS & LOCATIONS OF SIGNS REQUIRED.

3 Exterior Site Signage.
A103 1 : 10

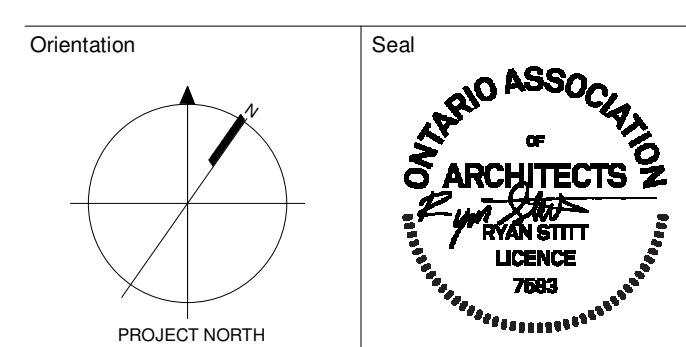


2 Signage Detail
A103 1 : 20

4 Site Plan
A103 1 : 550



No.	Revision	Date
1	Issued for SPA - Submission 1	2025-02-21



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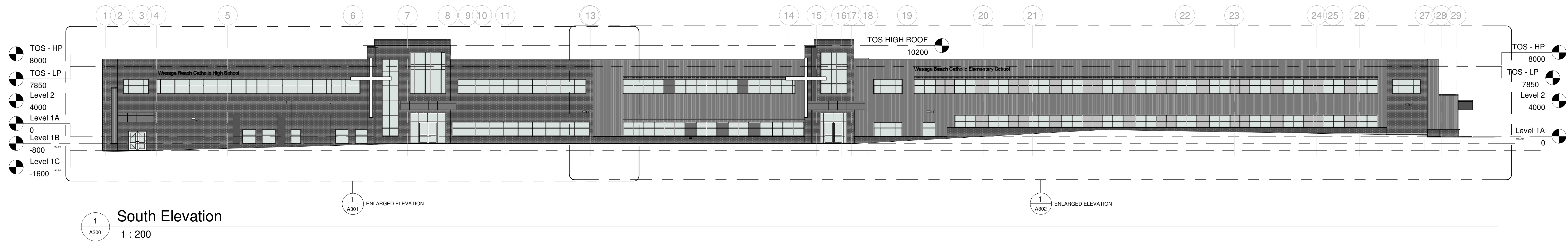
River Road West, Wasaga Beach Ontario

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SMCDSB

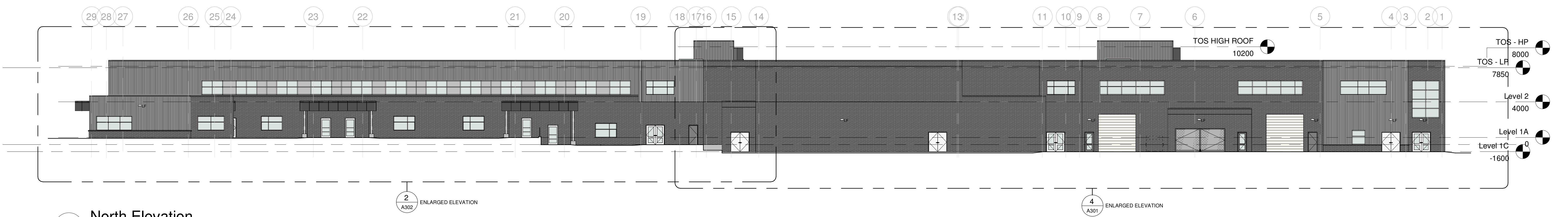
Drawing Title
Site Plan - Signage

Date	February 21, 2025	Project No	23019	Drawing No	A103
Drawn by	Author				
Scale	As indicated				

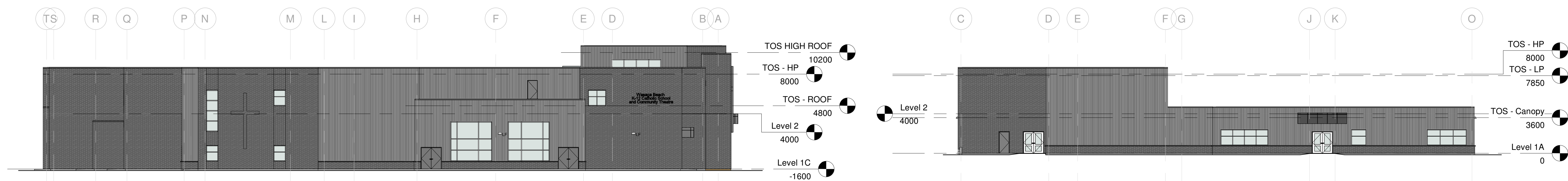




1 South Elevation
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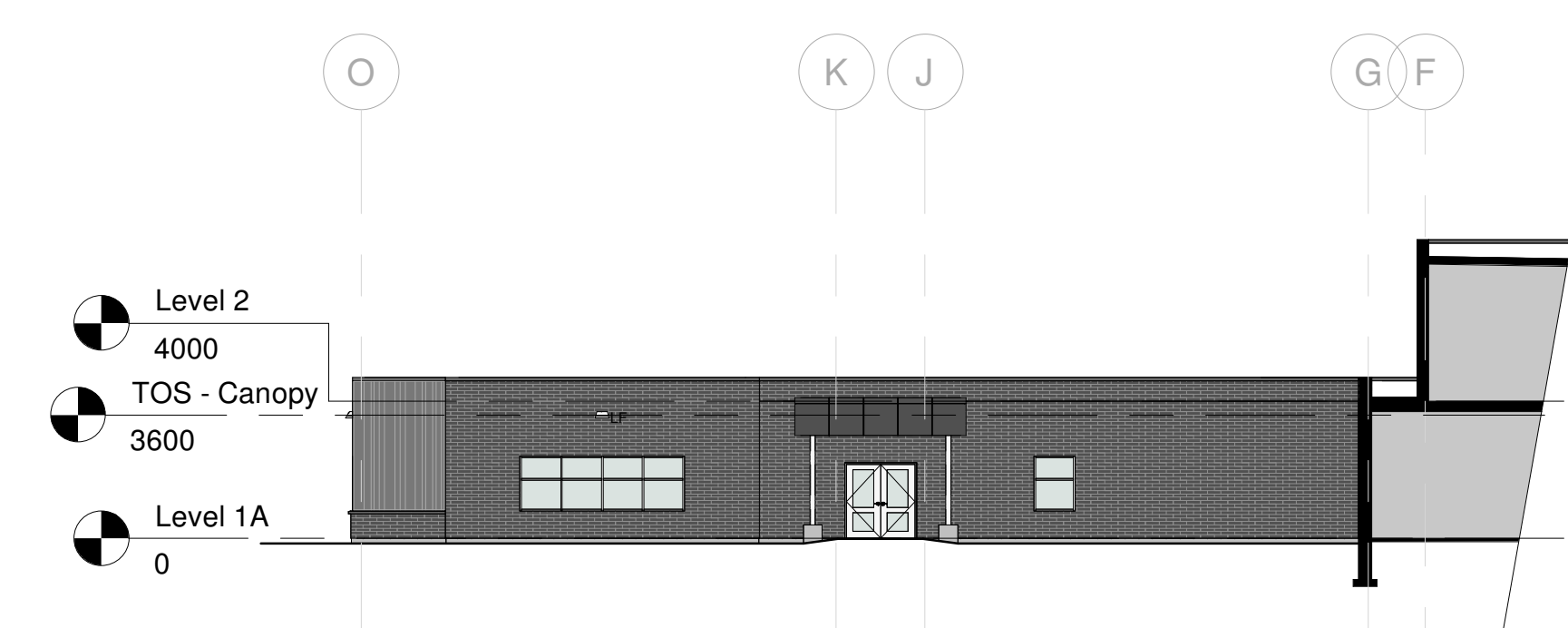


2 North Elevation
1 : 200

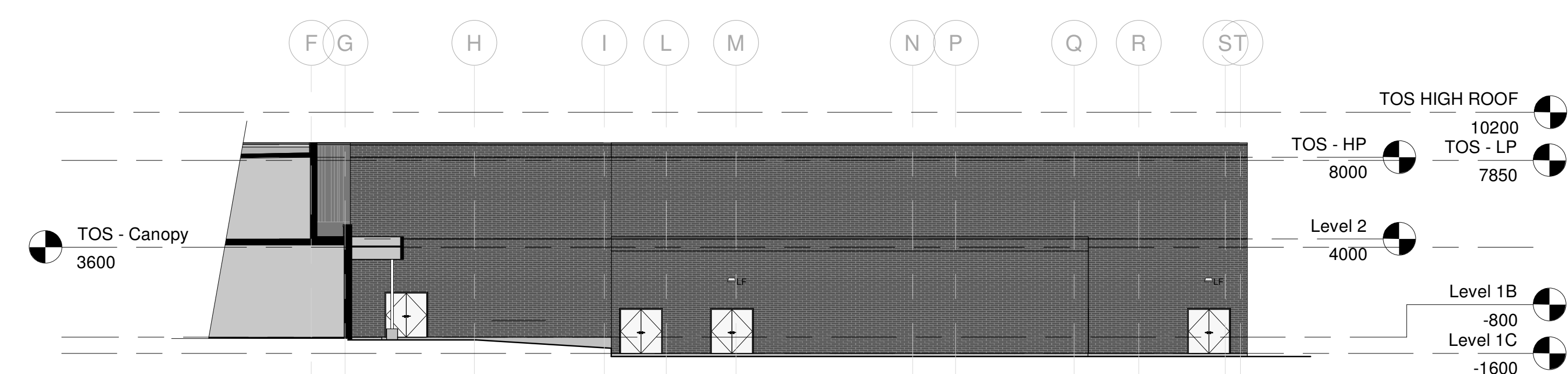


3 West Elevation
1 : 200

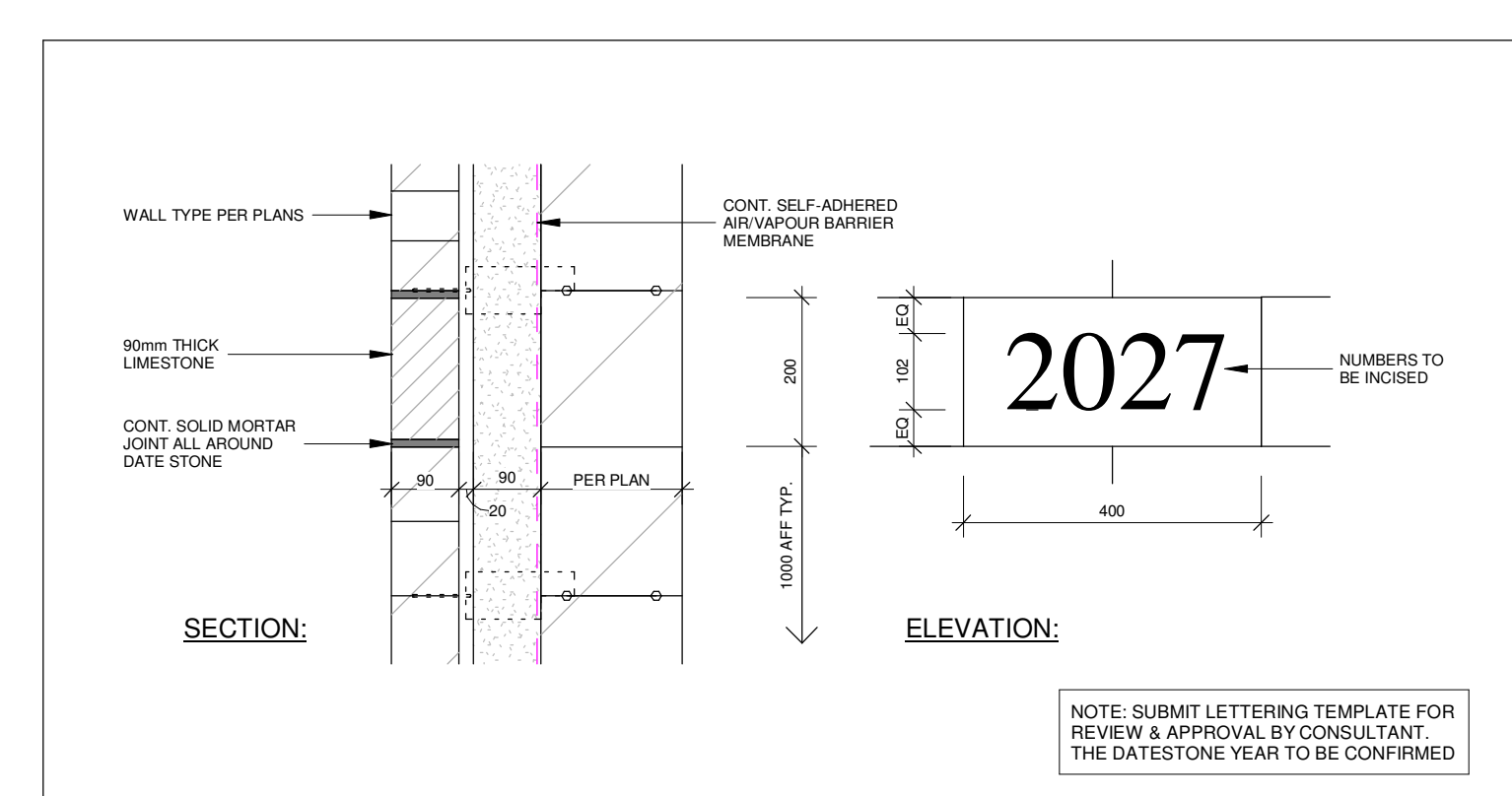
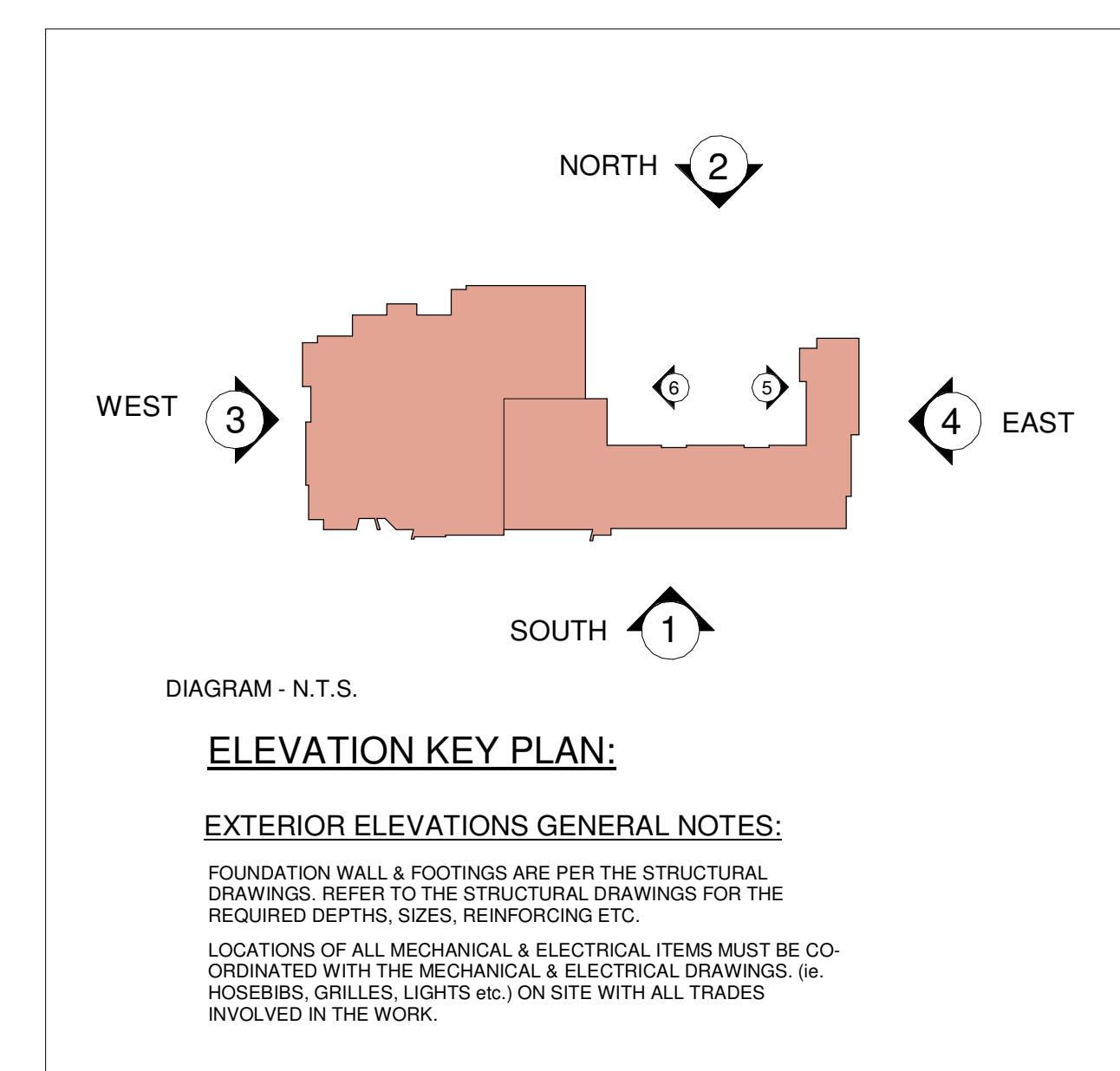
4 East Elevation
1 : 200



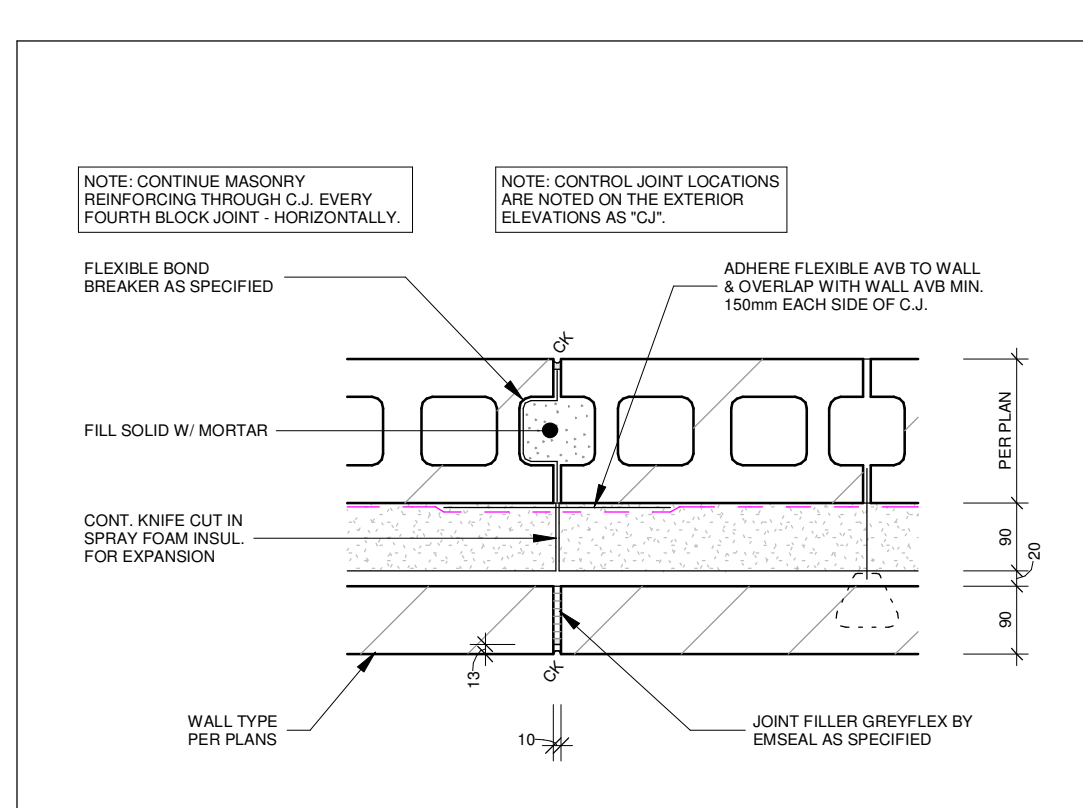
5 Part West Elevation
1 : 200



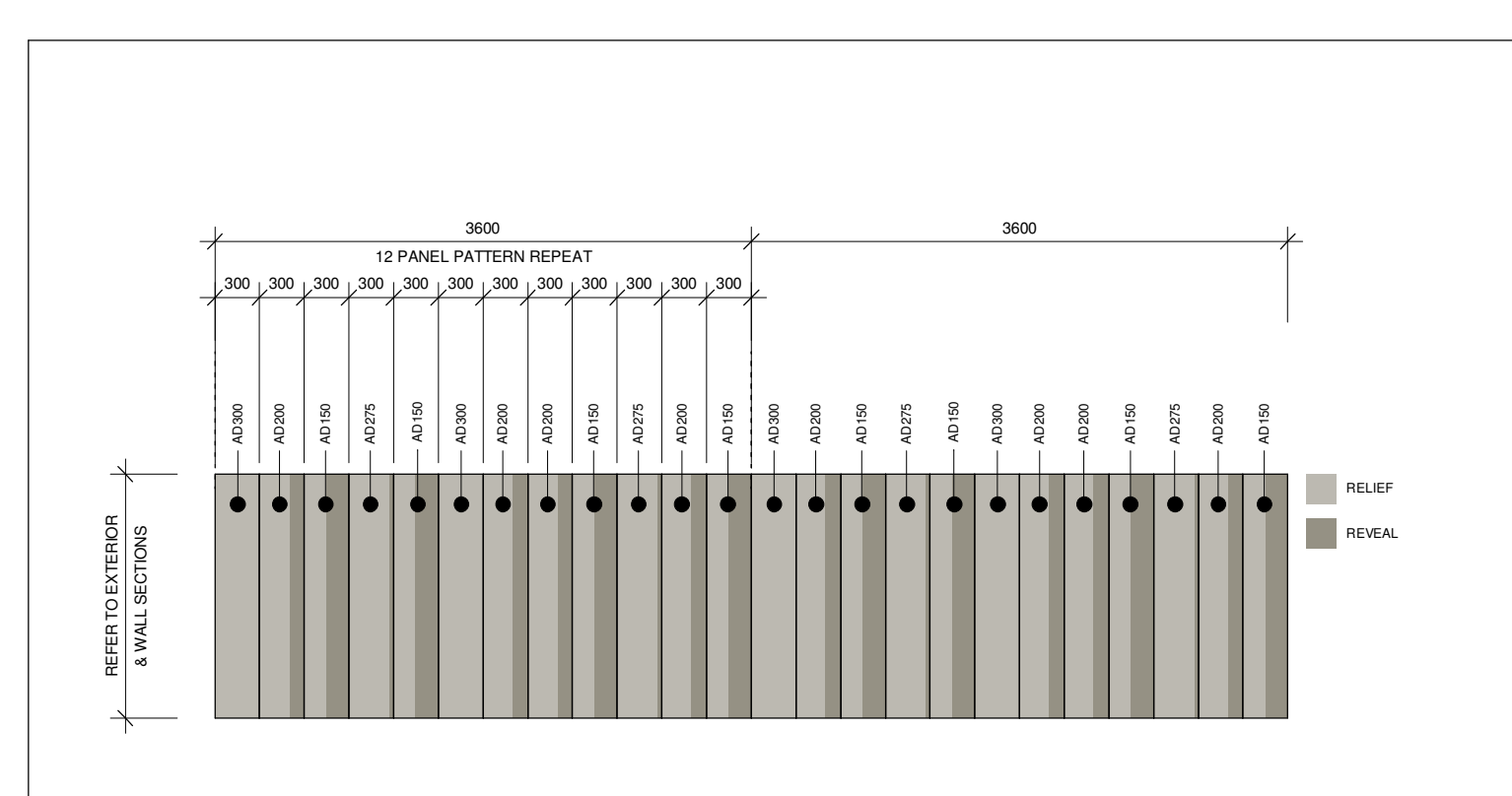
6 Part East Elevation
1 : 200



7 Datestone Detail
N.T.S.

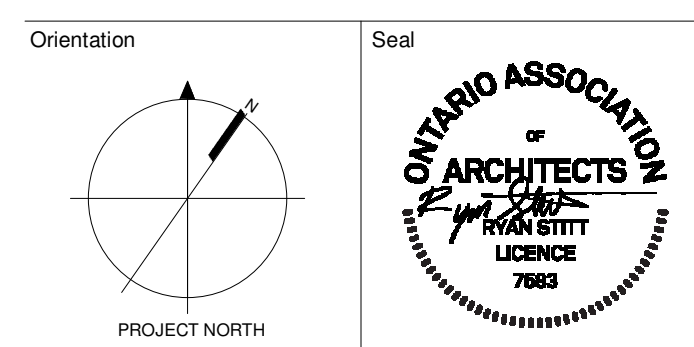


8 Control Joint Detail
N.T.S.



9 Siding Pattern
1 : 50

1	Issued for SPA - Submission 1	2025-02-21
No.	Revision	Date



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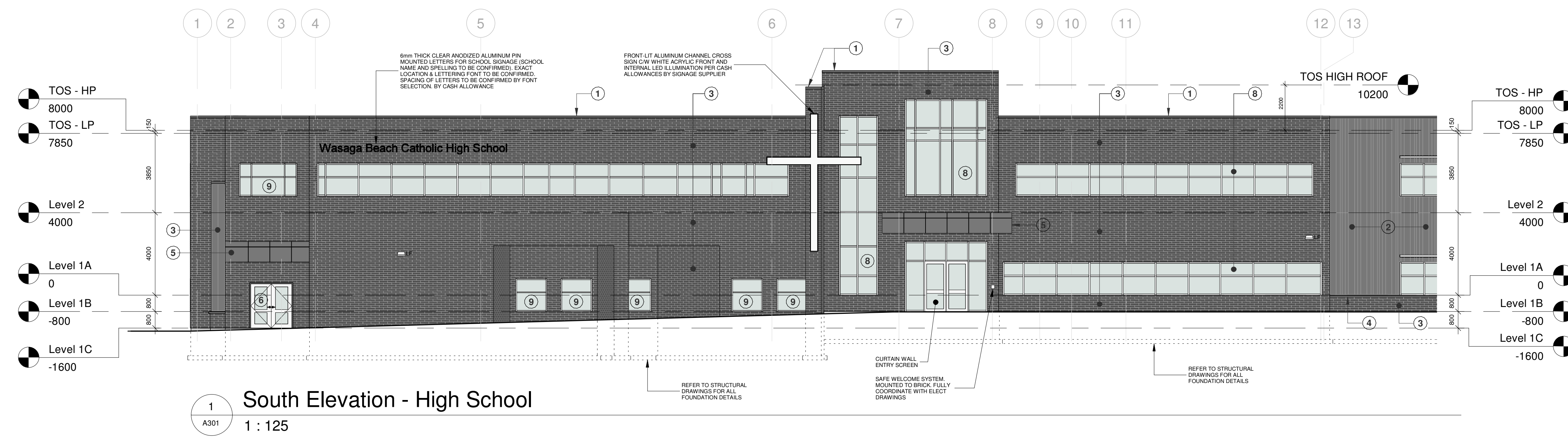
Project Information
Wasaga CSS & CES

For
SMCDSB

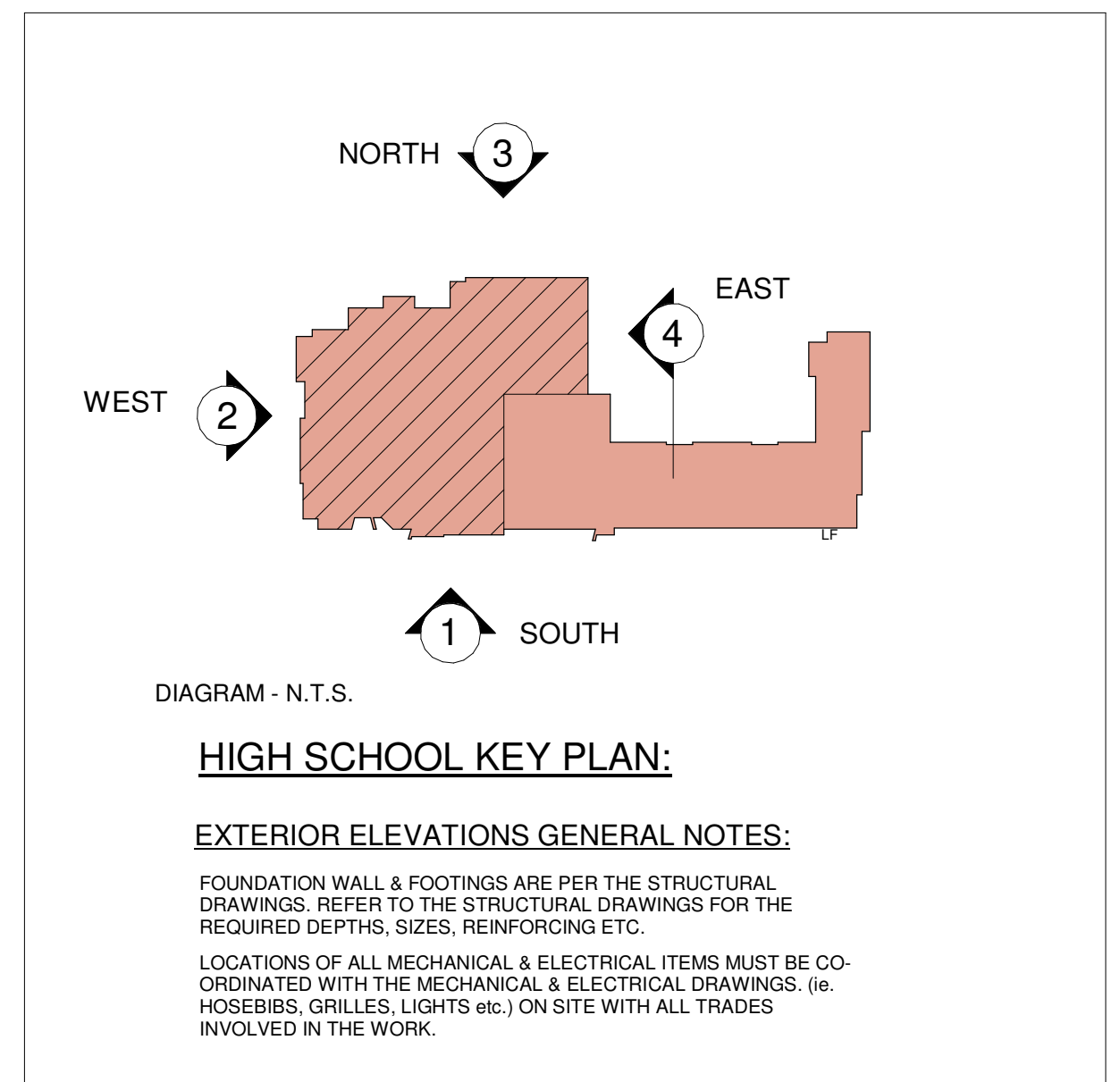
Drawing Title
Overall Exterior Elevations

Date	February 21, 2025	Project No	23019	Drawing No	A300
Drawn by	AP, JM, TES	Scale	As indicated		

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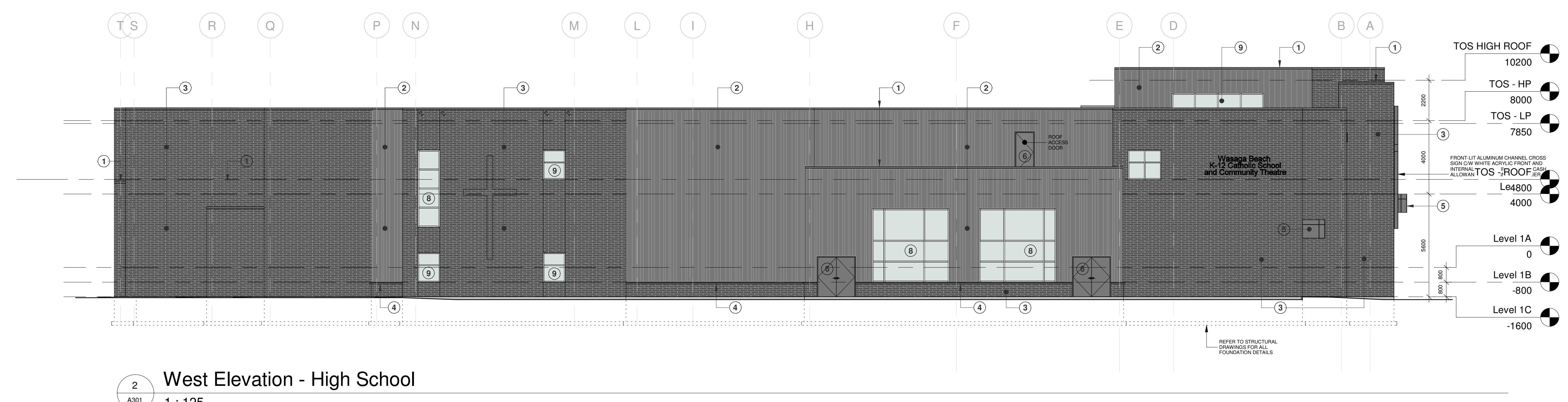
1 South Elevation - High School
1 : 125



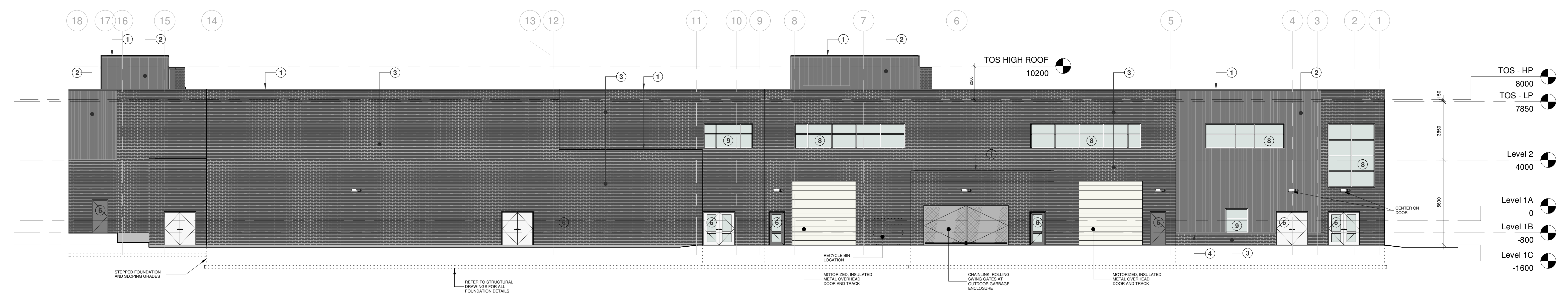
EXTERIOR ELEVATIONS GENERAL NOTES:
FOUNDATION WALL & FOOTINGS ARE PER THE STRUCTURAL DRAWINGS. REFER TO THE STRUCTURAL DRAWINGS FOR THE REQUIRED DEPTHS, SIZES, REINFORCING ETC.
LOCATIONS OF ALL MECHANICAL & ELECTRICAL ITEMS MUST BE CO-ORDINATED WITH THE MECHANICAL & ELECTRICAL DRAWINGS, i.e. HOSEBIBS, GRILLES, LIGHTS etc. ON SITE WITH ALL TRADES INVOLVED IN THE WORK.

EXTERIOR FINISHES LEGEND:

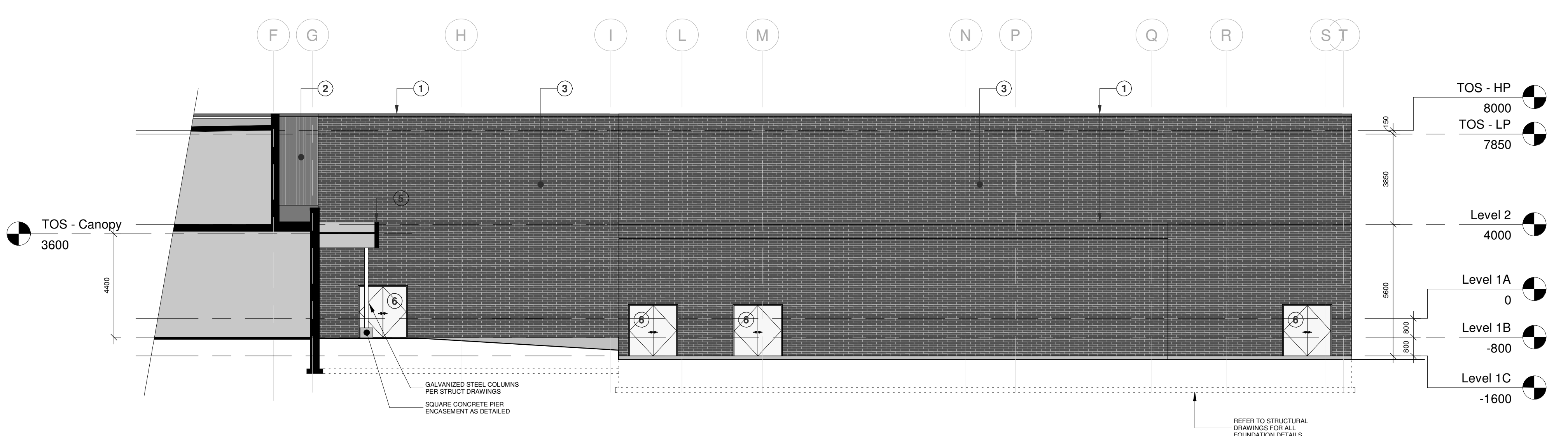
- 1 PREFINISHED METAL ROOF EDGE FLASHING
- 2 PREFINISHED VERTICAL METAL SIDING. REFER TO 8A300 FOR SIDING PATTERN
- 3 FACE BRICK
- 4 PRECAST STONE SILL
- 5 PREFINISHED ALUMINUM COMPOSITE PANELS
- 6 DOOR AND FRAME PER SCHEDULE
- 7 ALUMINUM SUNSHADE SYSTEM
- 8 PREFINISHED ALUMINUM CURTAIN WALL UNIT
- 9 PREFINISHED ALUMINUM WINDOW UNIT



2 West Elevation - High School
1 : 125

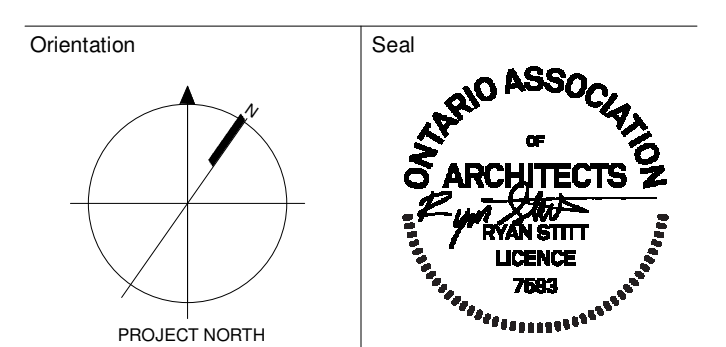


4 North Elevation - High School
1 : 125



3 Part East Elevation - High School
1 : 125

No.	Revision	Date
1	Issued for SPA - Submission 1	2025-02-21



All dimensions to be checked and verified on the job by the Contractor. Any discrepancies are to be reported to the Consultant prior to action. Only the latest approved drawings to be used for construction in conformance with all applicable codes, by-laws and regulations. All drawings remain the property of the Consultant.
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Project Information

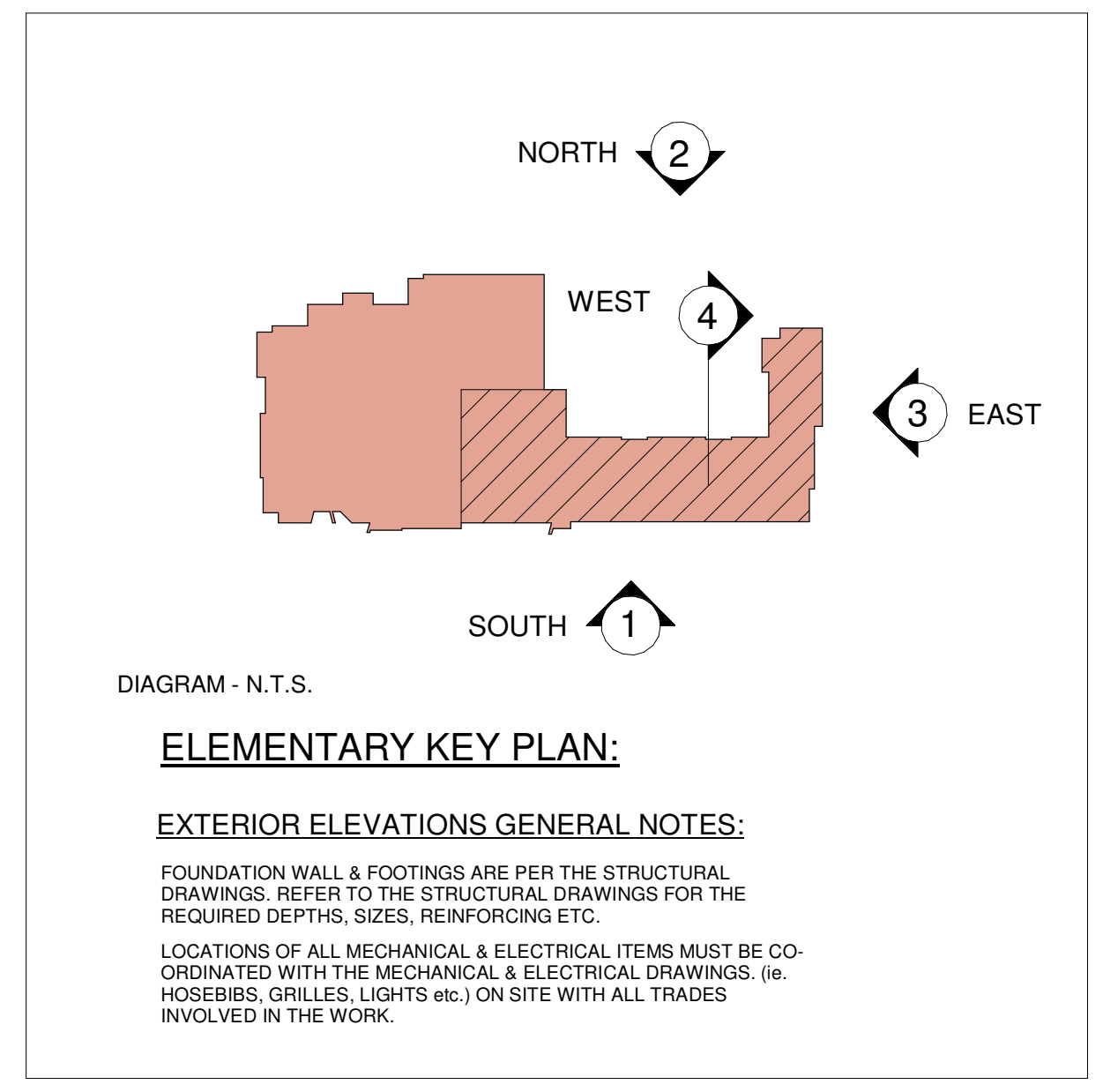
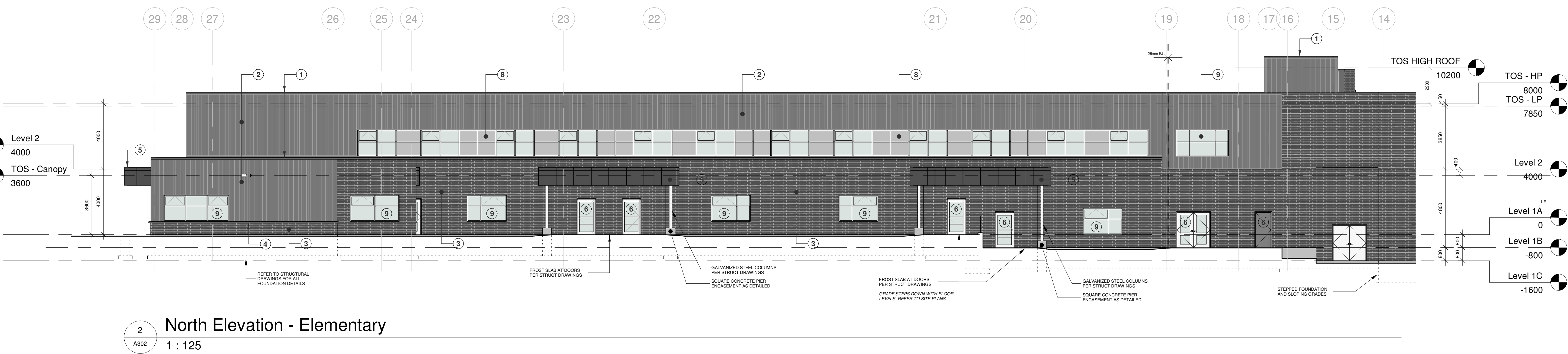
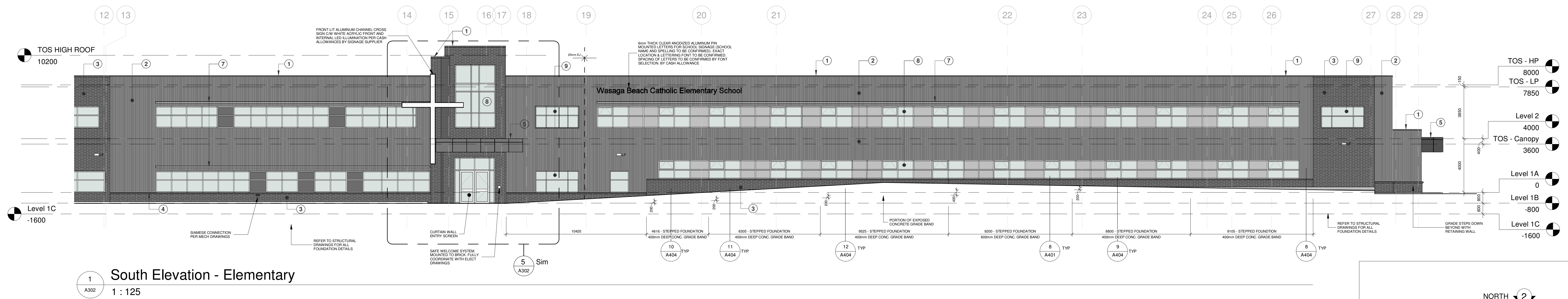
Wasaga CSS & CES

River Road West, Wasaga Beach Ontario

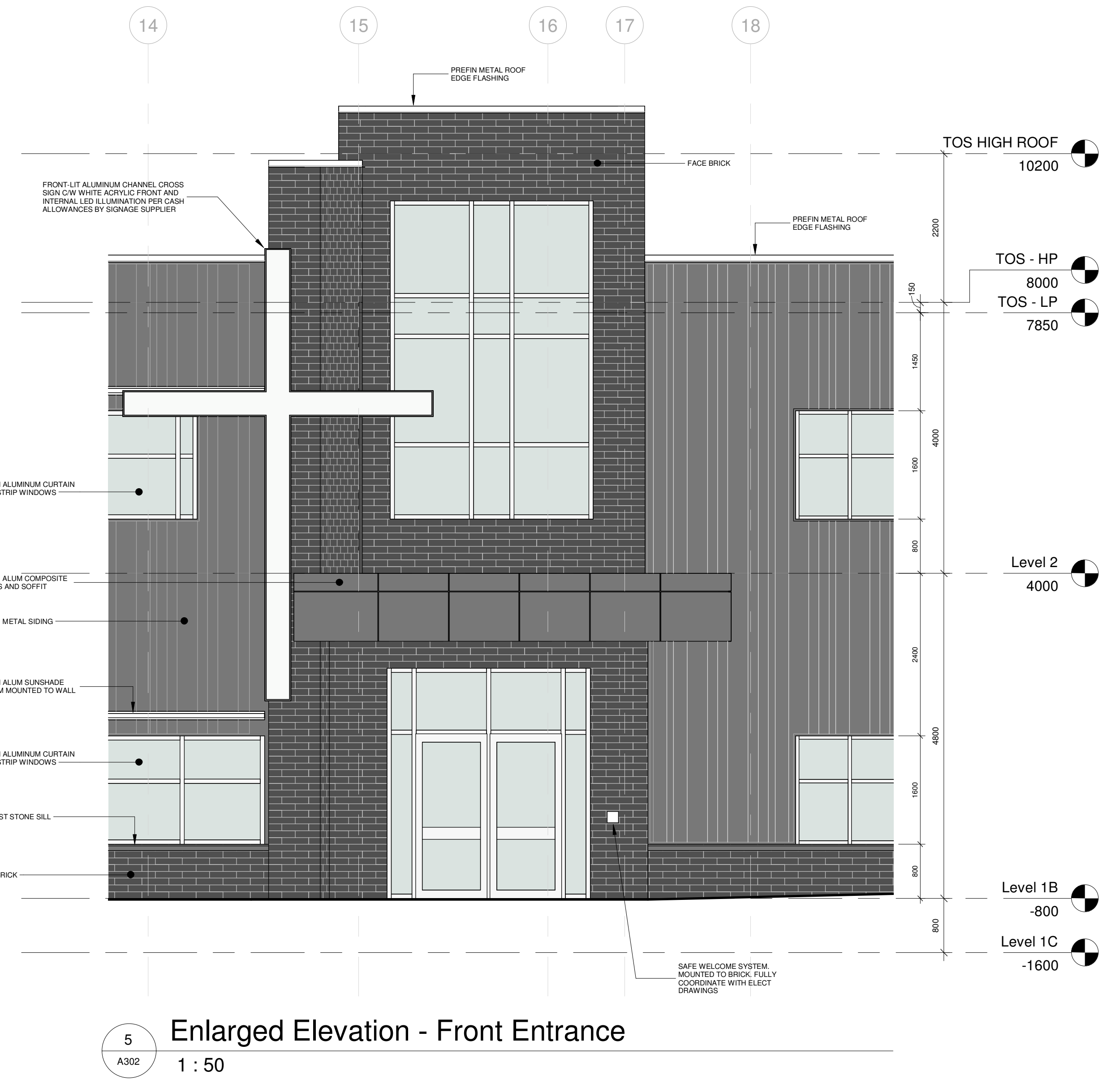
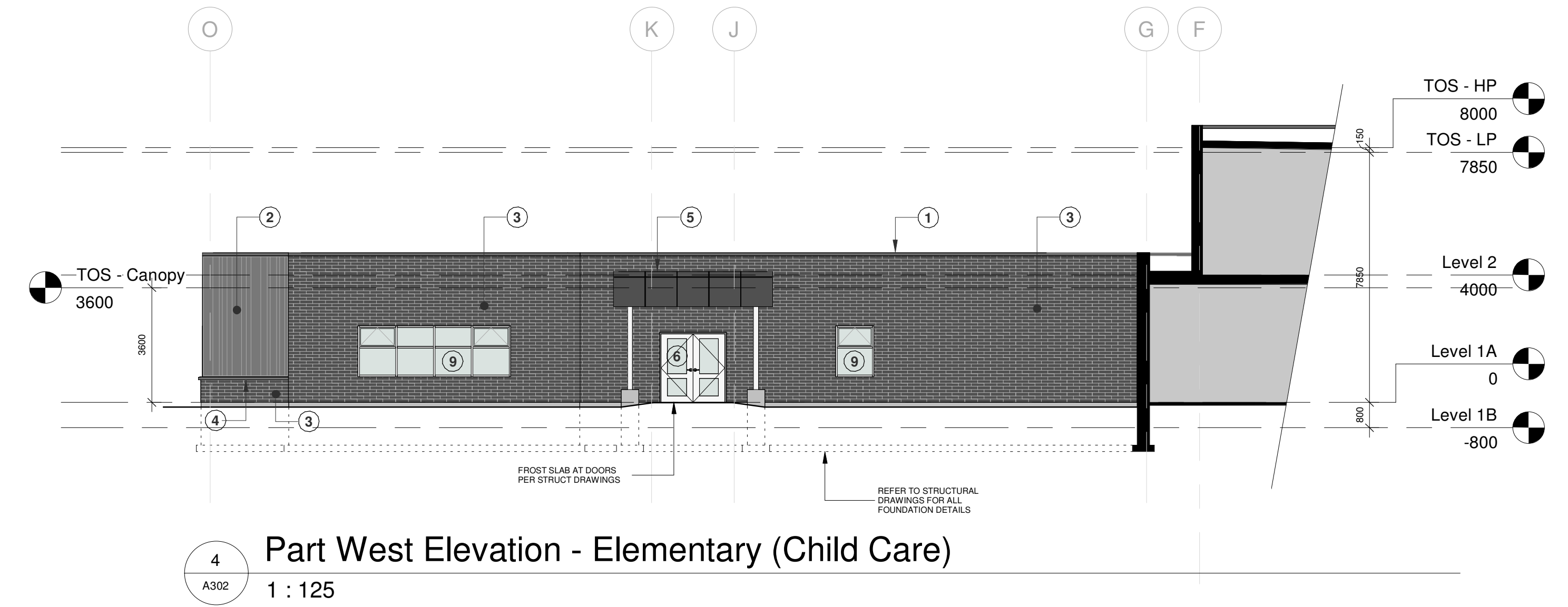
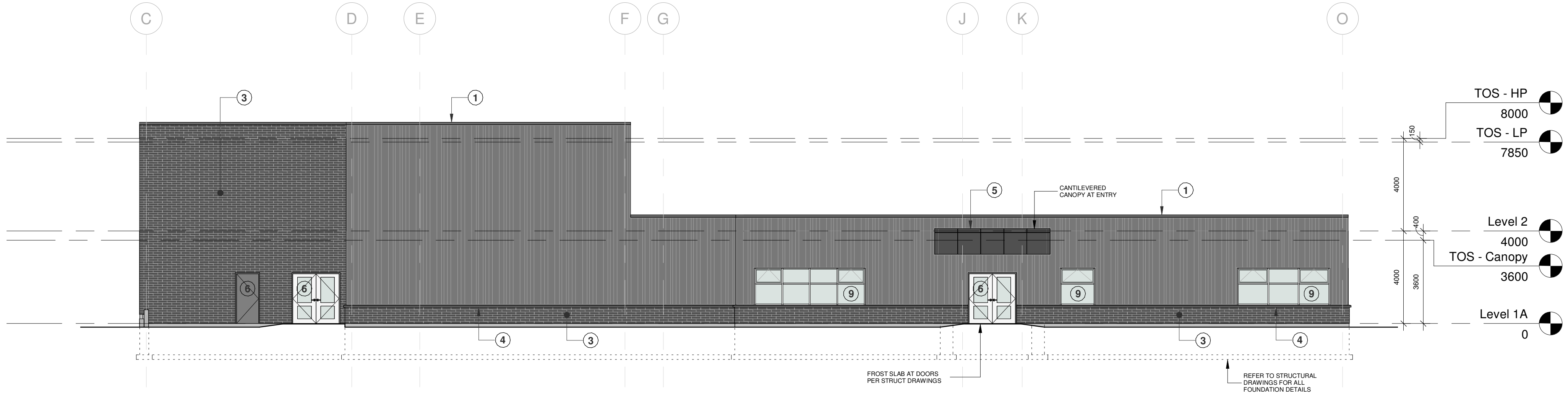
For
SMCDSB

Drawing Title
Exterior Elevations - High School

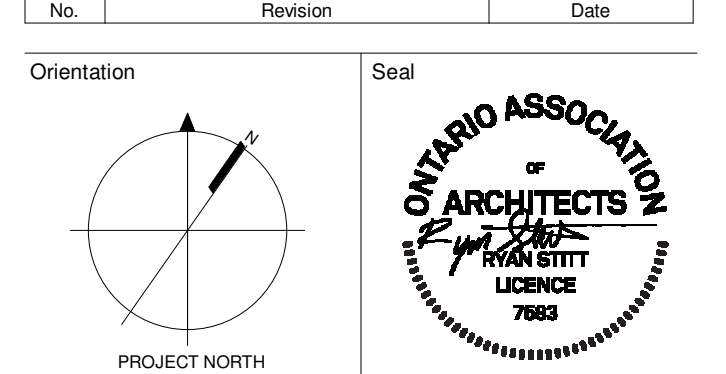
Date	February 21, 2025	Project No	23019	Drawing No	A301
Drawn by	AP, JM, TES				
Scale	As indicated				



- EXTERIOR FINISHES LEGEND:**
- 1 PREFINISHED METAL ROOF EDGE FLASHING
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No.	Revision	Date
1	Issued for SPA - Submission 1	2025-02-21



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Project Information

Wasaga CSS & CES

River Road West, Wasaga Beach Ontario

For
SMCDSB

Drawing Title
Exterior Elevations - Elementary School

Date	February 21, 2025	Project No	23019	Drawing No	A302
Drawn by	AP, JM, TES	Scale	As indicated		