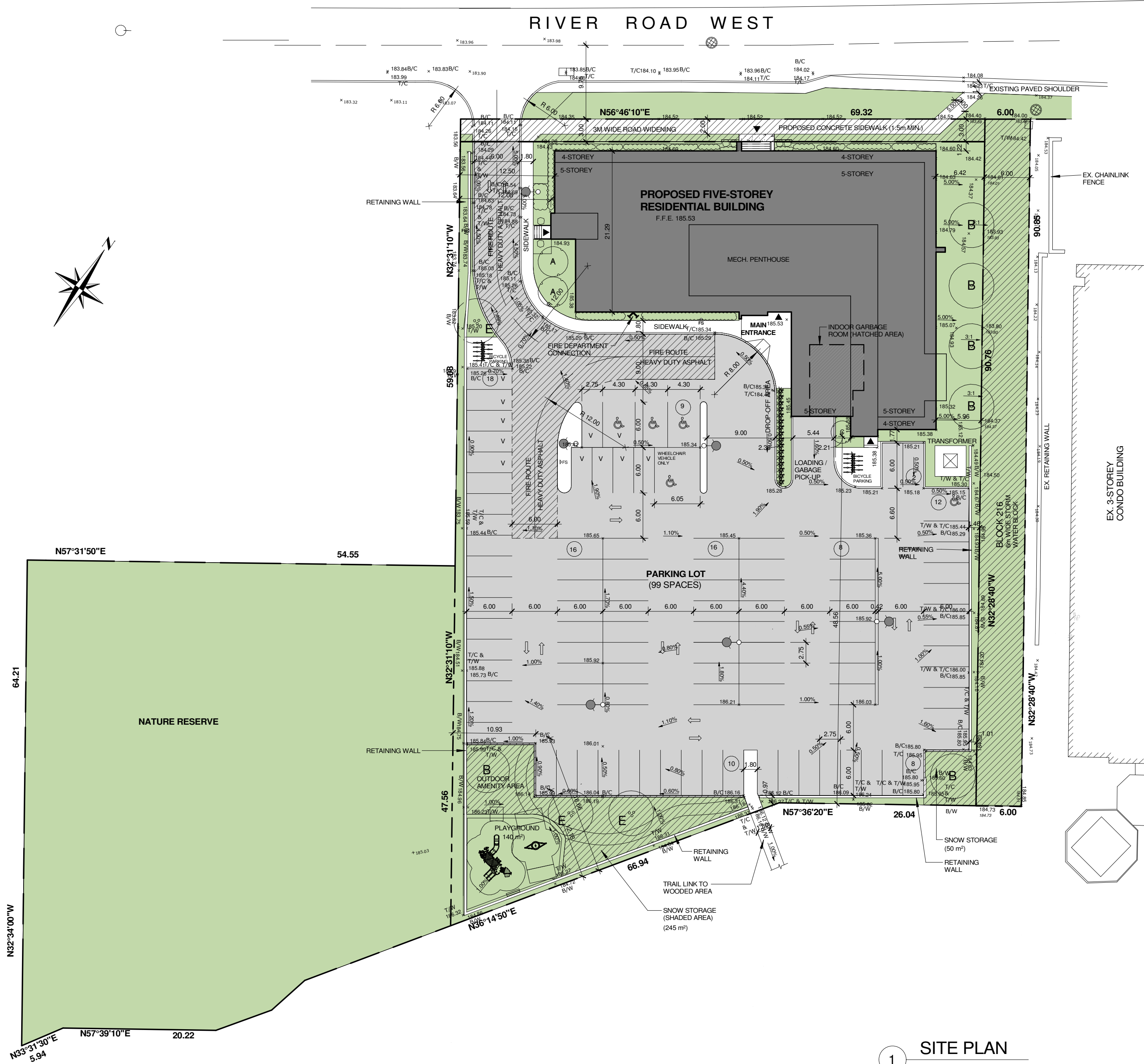


Attachment 1- Revised Development Plans



1 SITE PLAN
1 : 400

	PERMITTED / REQUIRED	PROPOSED / PROVIDED
BUILDING AREA		1,337.48 M² (14,396 SF)
GROSS FLOOR AREA		6,492.16 M² (69,881 SF)
LOT COVERAGE	75% MAX.	13.8%
LANDSCAPE AREA	30% MIN.	45.77%
BUILDING HEIGHT	4 STOREYS MAX.	5 STOREYS (18.17m)
LOT FRONTAGE	25m MIN.	69.32m
LOT AREA	1,000m² MIN.	9,678.5m²
FRONT YARD	0m MIN.	1.22m
INTERIOR YARD	1.2m MIN.	5.96m / 12.08m
REAR YARD	7.5m MIN.	48.56 m
AMENITY SPACE	1BD: 14X5=70 M² 1BD+DEN & 2BD: 56X10=560 M² TOTAL: 630 m²	249 m² (INDOOR) 397 m² (OUTDOOR) TOTAL: 646 m²
RESIDENTIAL UNITS		1-BEDROOM: 14 UNITS 1-BEDROOM + DEN: 33 UNITS 2-BEDROOM: 23 UNITS TOTAL: 70 UNITS
DENSITY	74 UNITS/HECTARE MAX.	72 UNITS/HECTARE
LOCKERS		70
PARKING	RESIDENCE: 88 SPACES (1.25 SPACE/UNIT) VISITOR: 11 SPACES (0.15 SPACE/UNIT) TOTAL 99 SPACES BARRIER-FREE: 5 SPACES	88 SPACES 11 SPACES 99 SPACES 5 SPACES
BICYCLE PARKING	18 SPACES (0.25 SPACE/UNIT)	18 SPACES

LEGEND

FS

FIRE ROUTE SIGN

FIRE DEPARTMENT CONNECTION

MEN DOOR (ENTRANCES & EXITS)

XXX.XX

PROPOSED GRADING

MH

MANHOLES

LS

LIGHT STANDARD

CB

CATCH BASIN

FH

FIRE HYDRANT

XX

INDICATE NUMBER OF PARKING SPACES

AP

ACCESSIBLE PARKING SPACES

10	APR 2/24	REISSUED FOR SPA	HW
9	SEPT. 1/22	REISSUED FOR SPA	HW
8	MAR 22/22	REISSUED FOR SPA	HW
7	OCT 20/21	ISSUED FOR REVIEW	HW
6	NOV 23/20	REISSUED FOR SPA	HW
5	AUG 26/20	ISSUED FOR SPA	HW
4	MAY 06/20	ISSUED FOR REVIEW	HW
3	APR. 08/20	ISSUED FOR REVIEW	HW
2	AUG. 08/18	ISSUED FOR REVIEW	HW
1	AUG. 03/18	ISSUED FOR REVIEW	HW
No.	Date:	Issued/Revision:	By

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Project :
RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :
SITE PLAN

Date	AUGUST 2022	Project No :	18026
Scale :	As indicated		
Drawn by :	JW	Drawing No :	A1
Checked by :	HW		

RIVERWOODS HOMES

RIVER ROAD WEST WASAGA BEACH



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4	MAR. 07/23	REISSUED FOR SPA	HW
3	SEPT. 1/22	REISSUED FOR SPA	HW
2	MAR 22/22	REISSUED FOR SPA	HW
1	AUG 26/20	ISSUED FOR SPA	HW
No.	Date:	Issued/Revision:	By



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Project :

RIVERWOODS HOMES

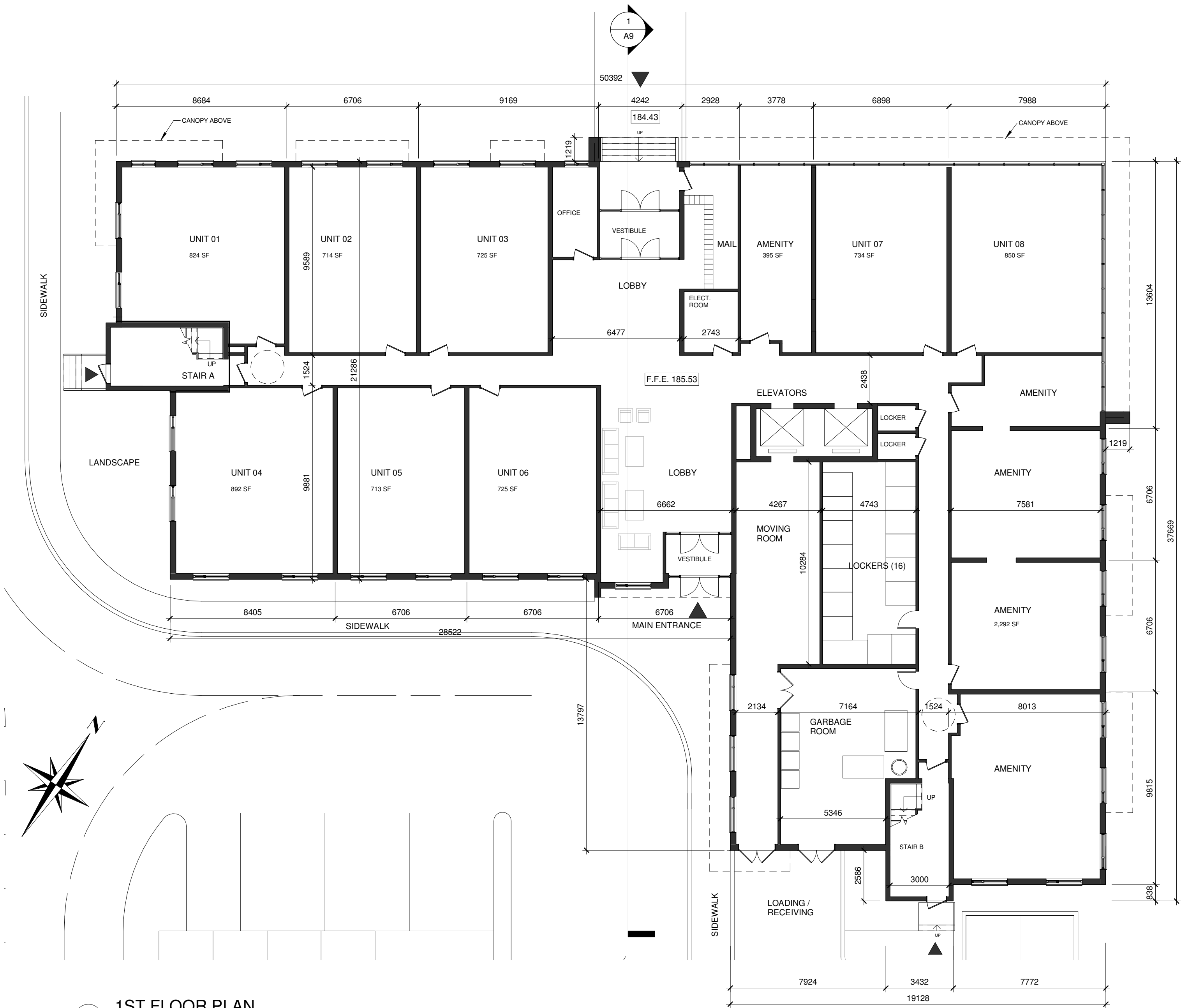
RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :

COVER

Date	JUNE 2019	Project No :	18026
Scale :			
Drawn by :	Author	Drawing No :	A1
Checked by	Checker		

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1 1ST FLOOR PLAN
1 : 150

6	MAR. 07/23	REISSUED FOR SPA	HW
5	SEPT. 1/22	REISSUED FOR SPA	HW
4	MAR 22/22	REISSUED FOR SPA	HW
3	AUG 26/20	ISSUED FOR SPA	HW
2	MAY 06/20	ISSUED FOR REVIEW	HW
1	APR. 08/20	ISSUED FOR REVIEW	HW
No.	Date:	Issued/Revision:	By



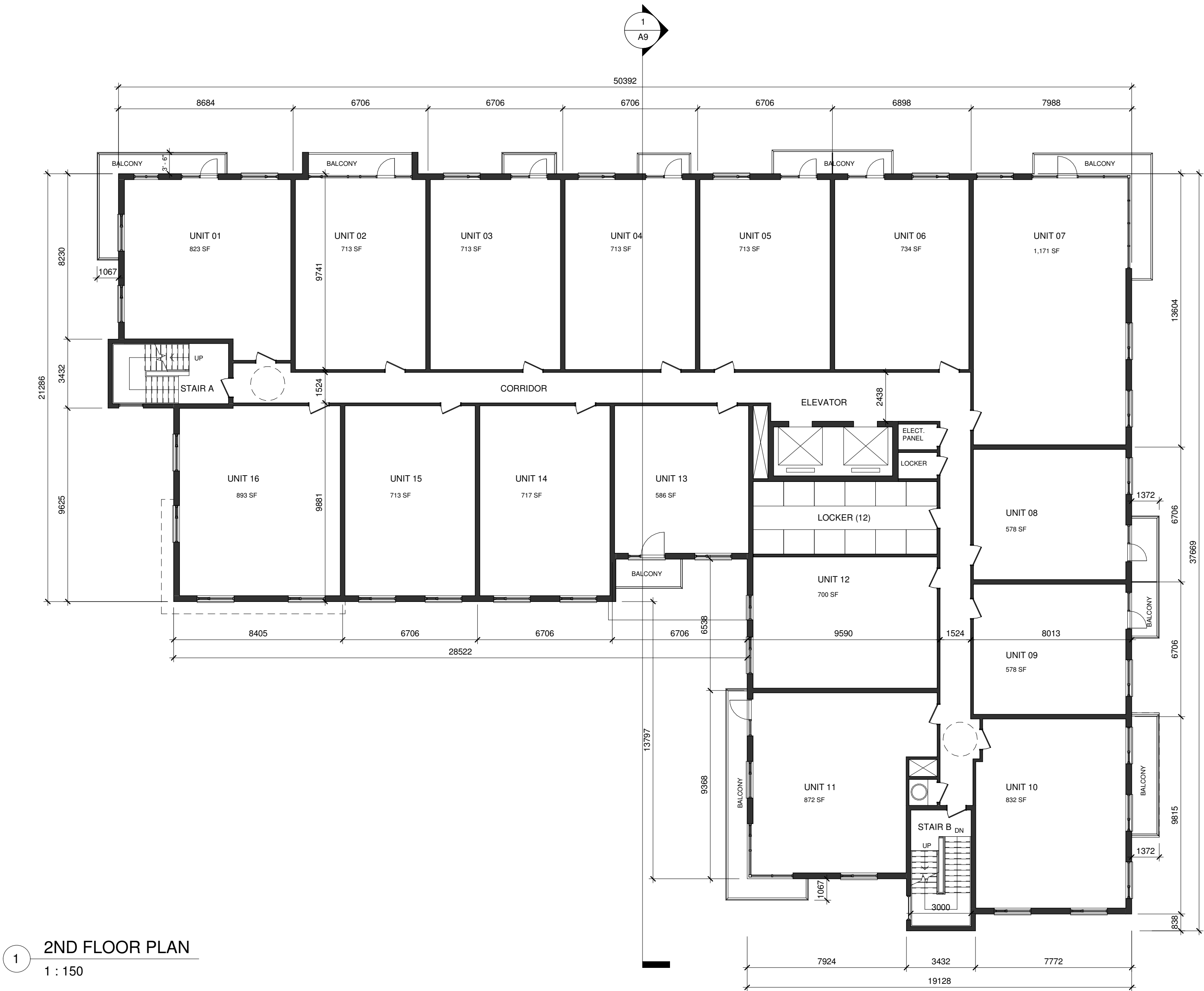
Project :
RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :
1ST FLOOR PLAN

Date	JUNE 2019	Project No :	18026
Scale :	1 : 150		
Drawn by :	Author	Drawing No :	A2
Checked by	Checker		

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5	SEPT. 1/22	REISSUED FOR SPA	HW
4	MAR 22/22	REISSUED FOR SPA	HW
3	AUG 26/20	ISSUED FOR SPA	HW
2	MAY 06/20	ISSUED FOR REVIEW	HW
1	APR. 08/20	ISSUED FOR REVIEW	HW
No.	Date:	Issued/Revision:	By



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Project :
RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :
2ND FLOOR PLAN

Date	JUNE 2019	Project No :	18026
Scale :	1 : 150		
Drawn by :	Author	Drawing No :	A3
Checked by	Checker		

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4	MAR 22/22	REISSUED FOR SPA	HW
3	AUG 26/20	ISSUED FOR SPA	HW
2	MAY 06/20	ISSUED FOR REVIEW	HW
1	APR. 08/20	ISSUED FOR REVIEW	HW
No.	Date:	Issued/Revision:	By



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Project :
RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :
3RD & 4TH FLOORS

Date	JUNE 2019	Project No :	18026
Scale :	1 : 150		
Drawn by :	Author	Drawing No :	A4
Checked by	Checker		



1 3RD & 4TH FLOORS
1 : 150

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6	SEPT. 1/22	REISSUED FOR SPA	HW
5	MAR 22/22	REISSUED FOR SPA	HW
4	NOV 23/20	REISSUED FOR SPA	HW
3	AUG 26/20	ISSUED FOR SPA	HW
2	MAY 06/20	ISSUED FOR REVIEW	HW
1	APR. 08/20	ISSUED FOR REVIEW	HW
No.	Date:	Issued/Revision:	By



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Project :

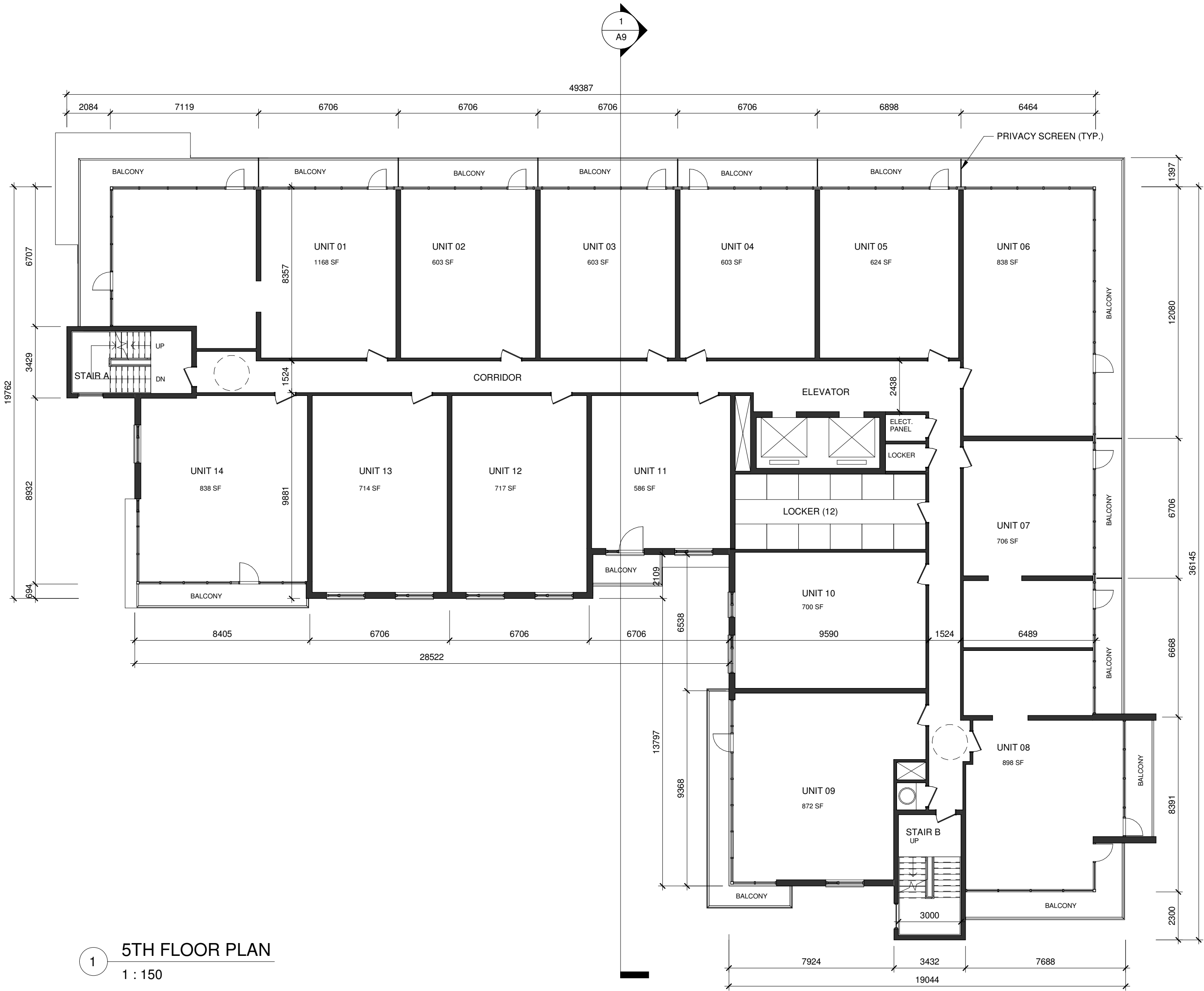
RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

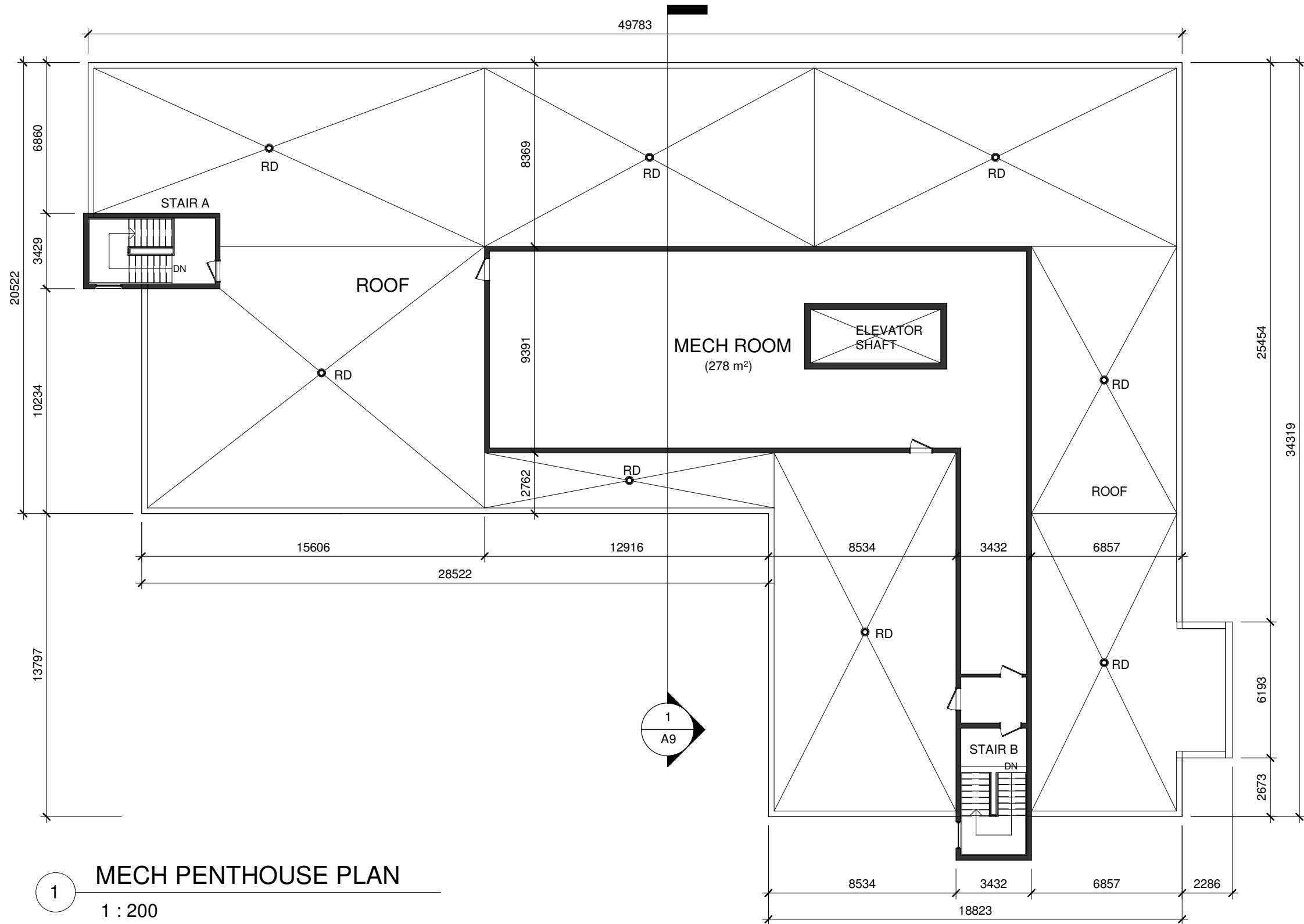
Drawing Name :

5TH FLOOR PLAN

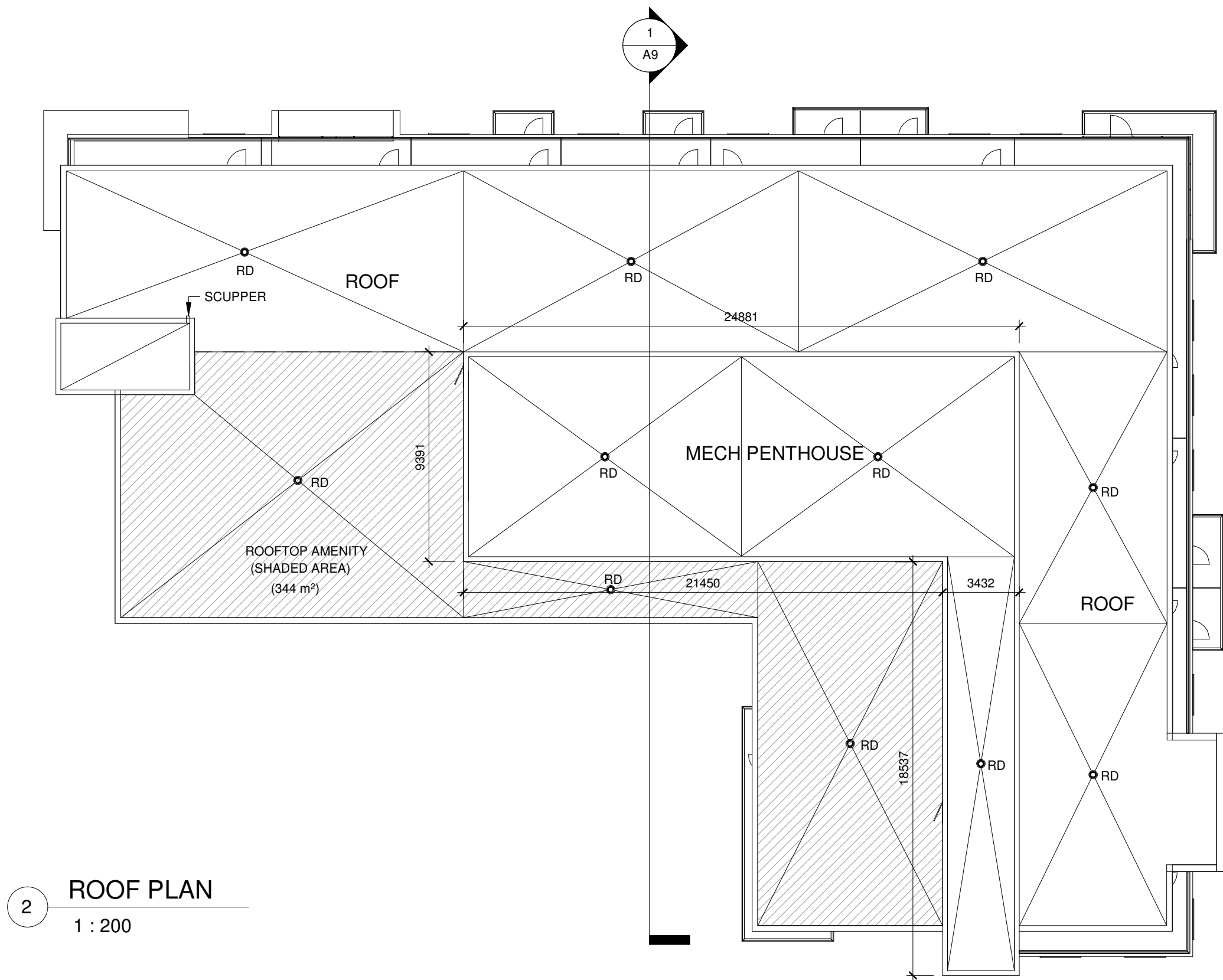
Date	JUNE 2019	Project No :	18026
Scale :	1 : 150		
Drawn by :	Author	Drawing No :	A5
Checked by	Checker		



1 5TH FLOOR PLAN
1 : 150



1 MECH PENTHOUSE PLAN
1 : 200



2 ROOF PLAN
1 : 200

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5	MAR 22/22	REISSUED FOR SPA	HW
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2	MAY 06/20	ISSUED FOR REVIEW	HW
1	APR. 08/20	ISSUED FOR REVIEW	HW
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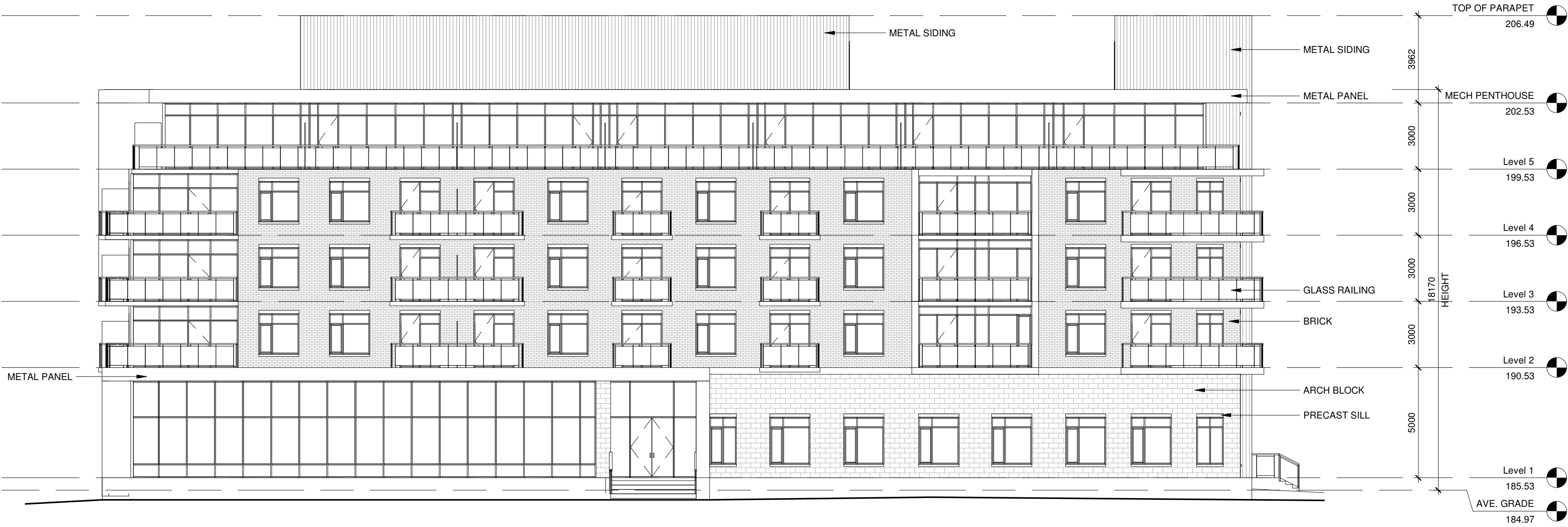
Project :
RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :
**MECH PENTHOUSE &
ROOF PLANS**

Date	JUNE 2019	Project No :	18026
Scale :	1 : 200		
Drawn by :	Author	Drawing No :	A6
Checked by	Checker		

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1 NORTH ELEVATION
1 : 150



2 SOUTH ELEVATION
1 : 150

6	MAR. 07/23	REISSUED FOR SPA	HW
5	SEPT. 1/22	REISSUED FOR SPA	HW
4	MAR 22/22	REISSUED FOR SPA	HW
3	AUG 26/20	ISSUED FOR SPA	HW
2	MAY 06/20	ISSUED FOR REVIEW	HW
1	APR. 08/20	ISSUED FOR REVIEW	HW
No.	Date:	Issued/Revision:	By



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Project :
RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :
NORTH & SOUTH ELEVATIONS

Date	JUNE 2019	Project No :	18026
Scale :	1 : 150	Drawing No :	A7
Drawn by :	Author	Checked by :	Checker

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1 EAST ELEVATION
1 : 150



2 WEST ELEVATION
1 : 150

6	MAR. 07/23	REISSUED FOR SPA	HW
5	SEPT. 1/22	REISSUED FOR SPA	HW
4	NOV 23/20	REISSUED FOR SPA	HW
3	AUG 26/20	ISSUED FOR SPA	HW
2	MAY 06/20	ISSUED FOR REVIEW	HW
1	APR. 08/20	ISSUED FOR REVIEW	HW
No.	Date:	Issued/Revision:	By



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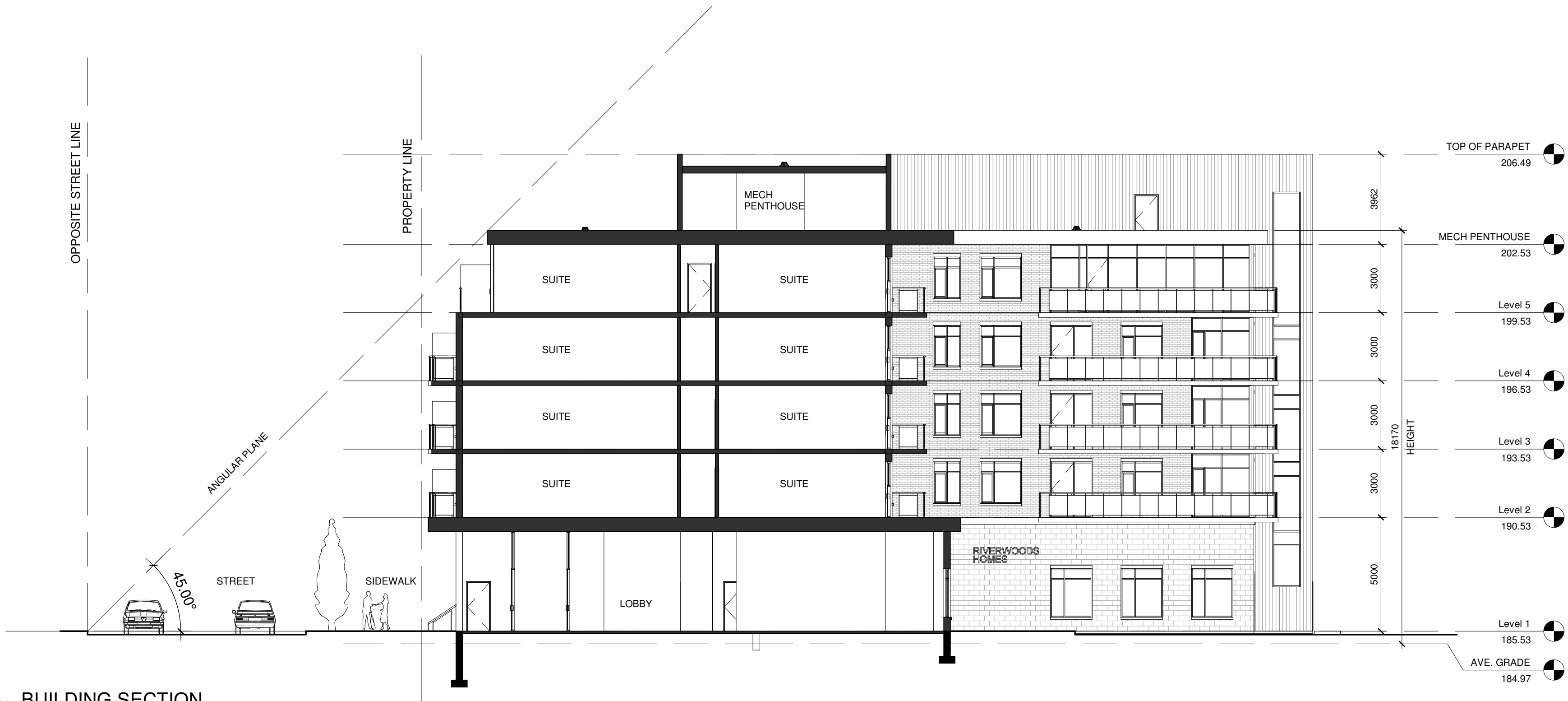
Project :
RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :
EAST & WEST ELEVATIONS

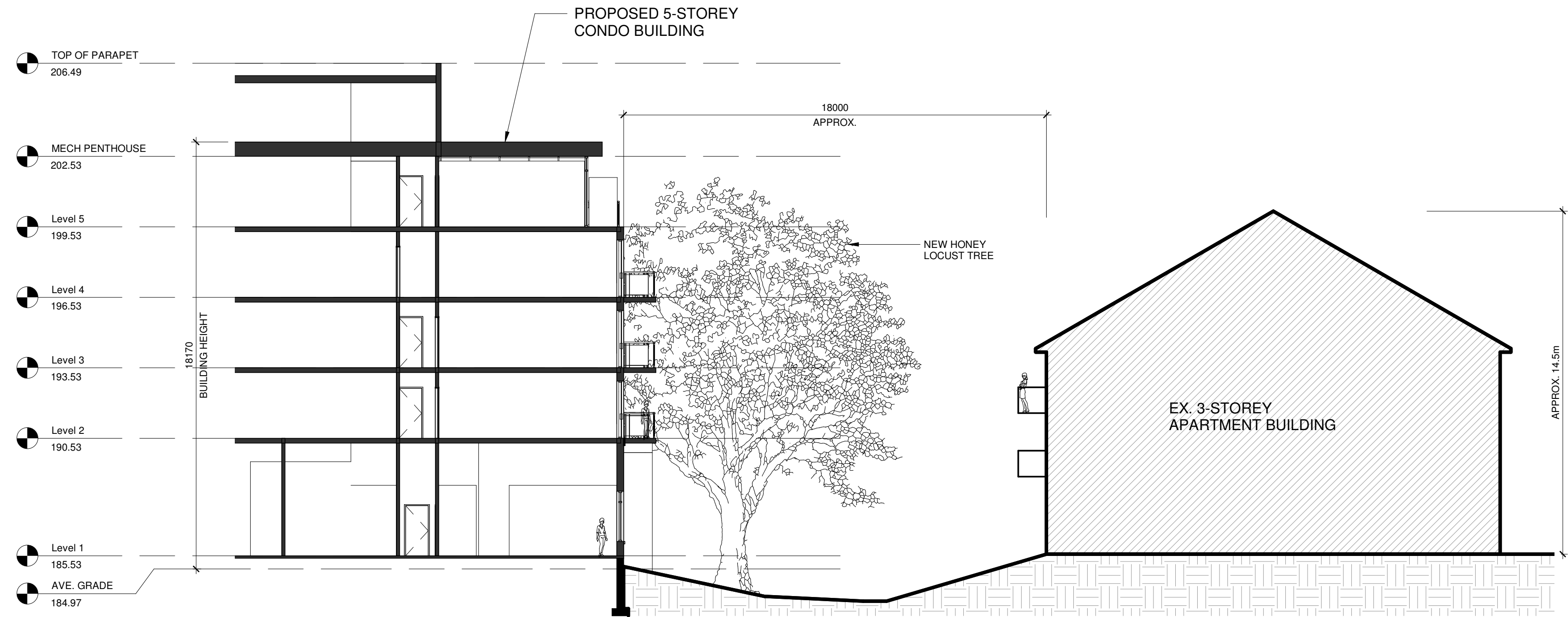
Date	JUNE 2019	Project No :	18026
Scale :	1 : 150	Drawing No :	A8
Drawn by :	Author	Checked by :	Checker

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BUILDING SECTION

1 : 150



SECTION W/ EX. APARTMENT BLD TO THE EAST

1 : 150

5	MAR. 07/23	REISSUED FOR SPA	HW
4	SEPT. 1/22	REISSUED FOR SPA	HW
3	NOV 23/20	REISSUED FOR SPA	HW
2	AUG 26/20	ISSUED FOR SPA	HW
1	MAY 06/20	ISSUED FOR REVIEW	HW
No.	Date:	Issued/Revision:	By

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Project :
RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :
BUILDING SECTIONS

Date	JUNE 2019	Project No :	18026
Scale :	1 : 150	Drawing No :	A9
Drawn by :	Author		
Checked by :	Checker		



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1	MAR 22/22	REISSUED FOR SPA	HW
No.	Date:	Issued/Revision:	By



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Project :

RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :	
3D VIEW	
Date	Project No :
JUNE 2019	18026
Scale :	
Drawn by :	Drawing No :
Author	A11
Checked by	Checker



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2	SEPT. 1/22	REISSUED FOR SPA	HW
1	MAR 22/22	REISSUED FOR SPA	HW
No.	Date:	Issued/Revision:	By



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Project :

RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name : 3D VIEW	
Date JUNE 2019	Project No : 18026
Scale :	
Drawn by : Author	Drawing No : A12
Checked by Checker	



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2	SEPT. 1/22	REISSUED FOR SPA	HW
1	MAR 22/22	REISSUED FOR SPA	HW
No.	Date:	Issued/Revision:	By



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Project :

RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :	
3D VIEW	
Date	JUNE 2019
Scale :	
Drawn by :	Author
Checked by	Checker
Project No :	18026
Drawing No :	A13



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1	MAR 22/22	REISSUED FOR SPA	HW
No.	Date:	Issued/Revision:	By



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Project :

RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :

3D VIEW

Date	JUNE 2019	Project No :	18026
Scale :			
Drawn by :	Author	Drawing No :	A14
Checked by	Checker		



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1	MAR 22/22	REISSUED FOR SPA	HW
No.	Date:	Issued/Revision:	By



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Project :

RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :

3D VIEW

Date	JUNE 2019	Project No :	18026
Scale :			
Drawn by :	Author	Drawing No :	A15
Checked by	Checker		



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Project :
RIVERWOODS HOMES

RIVER ROAD WEST
WASAGA BEACH, ON

Drawing Name :
3D VIEW

Date	JUNE 2019	Project No :	18026
Scale :			
Drawn by :	Author	Drawing No :	A16
Checked by	Checker		

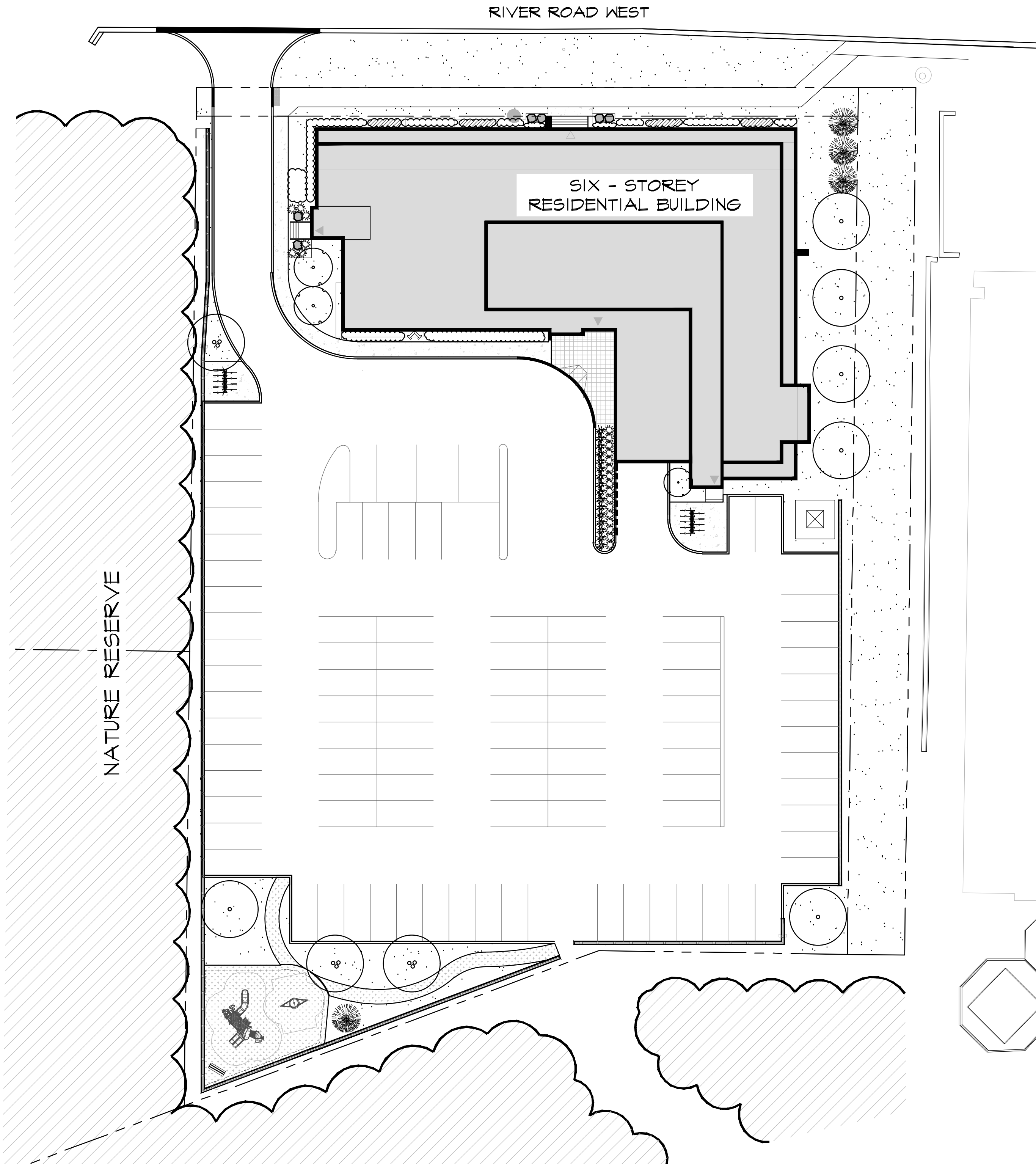
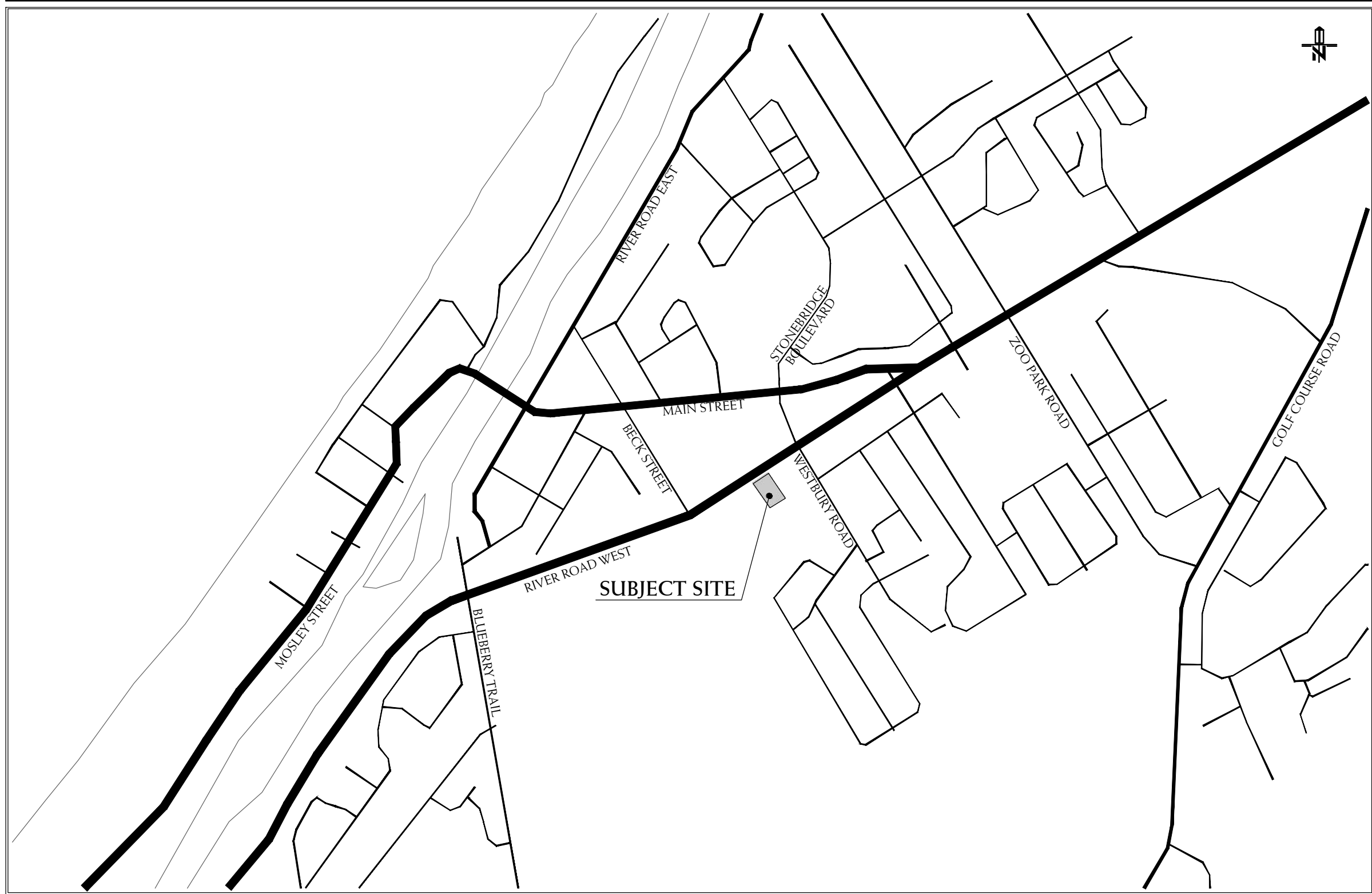
RIVERWOODS HOMES

ISSUED FOR APPROVAL
MAY 8, 2024

MP COVER SHEET
L-1 LANDSCAPE PLANTING PLAN

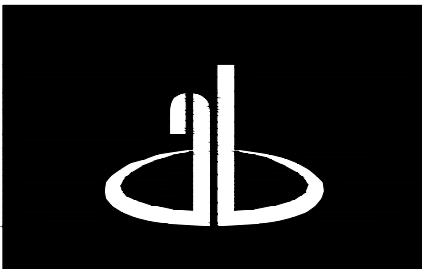

D-1 PLANTING DETAILS
D-2 LANDSCAPE DETAILS
D-3 LANDSCAPE DETAILS

KEY PLAN



6	MAY 8 2024	ISSUED FOR APPROVAL	AV
5	JAN 18 2023	ISSUED FOR FOURTH SPA SUBMISSION	AV/HH
4	NOV 22 2022	ISSUED FOR THIRD SPA SUBMISSION	AV/ED
3	DEC 7 2021	ISSUED FOR SECOND SPA SUBMISSION	SO/LB
2	AUG 21 2020	ISSUED FOR ZONING & SPA SUBMISSION	RS/AV
1	JUN 31 2020	ISSUED FOR CLIENT REVIEW	LK/RS
no.	date	version	by

All information hereon to be checked and verified at the site and any discrepancies must be reported to and clarified by the landscape architect before commencing work. All drawings, specifications, details, digital information, etc., prepared by the landscape architect are instruments of service and as such are his property and must be returned at his request.



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& ASSOCIATES LIMITED
LANDSCAPE ARCHITECTS

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Toronto, Ontario, Canada, M3C 1W3

416.444.5201

www.budrevics.com

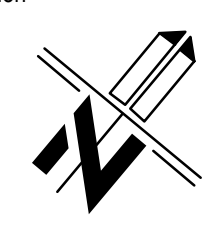
project

RIVERWOODS HOMES
RIVER ROAD WEST
WASAGA BEACH, ON

WASAGA RIVERWOODS HOMES INC.

drawing

COVER SHEET

date	JUNE 4, 2020	drawn	RS
scale*	1:300	file	3383 L1 V6-240508
direction			
		project no.	3383
		sheet no.	MP

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (34"x36") SIZE SHEET

2 D2 CONCRETE WALKWAY
TYPICAL DETAIL

TOPSOIL & TERRASEEDING
TYPE 1 - SIMCOE COUNTY NATIVE MIXTURE
AS SPECIFIED
ALL DISTURBED AREAS BETWEEN
RETAINING WALL AND NATURE RESERVE

1 D2 ROCKERY STONE
TYPICAL DETAIL

3 D1 TOPSOIL & SOD
TOWN OF WASAGA BEACH STANDARD DETAIL

1 D1 DECIDUOUS TREE PLANTING
TYPICAL DETAIL

5 D2 BIKE RACK
NINE (9) SPACES AT THIS LOCATION

TERRASEEDING

LOCATION OF SEED TYPES ARE NOTED ON PLAN

SEED WITH THE FOLLOWING SEED MIXTURES
AS SUPPLIED BY ONTARIO SEED COMPANY (1-800-465-5849)
OR APPROVED EQUAL

TYPE 1 FOR ALL DISTURBED AREAS BETWEEN THE
RETAINING WALL AND NATURE PRESERVE

8150 - SIMCOE COUNTY NATIVE MIXTURE

BLACK EYED SUSAN (<i>Rudbeckia hirta</i>)	12%
CANADA GOLDENROD (<i>Solidago canadensis</i>)	4%
CANADIA WILD RYE (<i>Elymus canadensis</i>)	20%
COMMON MILKWEED (<i>Asclepias syriaca</i>)	5%
INDIAN GRASS (<i>Sorghastrum nutans</i>)	20%
LITTLE BLUESTEM (<i>Andropogon scoparius</i>)	15%
NEW ENGLAND ASTER (<i>Aster novae-angliae</i>)	2%
SAND DROP SEED (<i>Sporobolus cryptandrus</i>)	20%
SMOOTH BLUE ASTER (<i>Aster laevis</i>)	1%
WILD BERGAMOT (<i>Monarda fistulosa</i>)	1%

SEED RATE: 25 kg/ha (23 lbs/acre)

A. NURSE CROP

ANNUAL RYE GRASS (*Lolium multiflorum*)
SEED RATE: 22kg/ha (21 lbs/acre)

(SEED MIX AND NURSE CROP MAY BE TERRASEEDED TOGETHER)

10 D2 DECORATIVE METAL FENCE
TYPICAL DETAIL
1200 MM HIGH
SURFACE MOUNTED ON TOP OF WALL

9 D2 PLAY AREA WITH FIBRE SURFACE
TYPICAL DETAIL

8 D2 SWING
TYPICAL DETAIL

7 D2 PLAY STRUCTURE
TYPICAL DETAIL

6 D2 BENCH
TYPICAL DETAIL
IN GROUND MOUND
MINIMUM 15mm FIBRE COVER OVER FOOTINGS

CURB RAMP W/ TACTILE
SURFACE INDICATOR
AS PER ENG. DWGS.

RIVER ROAD WEST

EXISTING ROW CENTRELINE

TOPSOIL & SOD

EXISTING ASPHALT SIDEWALK

3m ROAD
WIDENING

PROPOSED
CONCRETE SIDEWALK

TIERED BALCONY

CONCRETE
PAVING

REFER TO DETAIL
2/D2

TYPICAL PLANTING LAYOUT

SIX - STOREY
RESIDENTIAL BUILDING

6m WIDE STORM
WATER BLOCK

CONIFEROUS
TREE PLANTING
TYPICAL DETAIL

EXISTING RETAINING WALL
WITH CHAINLINK FENCE

REFERENCE PLANT LIST

KEY COMMON NAME

DECIDUOUS TREES

A RED ROCKET RED MAPLE
B SKYLINE HONEY-LOCUST
C PRANS FONTAINE HORNBEEH
E RIVER BIRCH

CONIFEROUS TREES

G COLORADO SPRUCE

CONIFEROUS SHRUBS

aa ARCADIA JUNPER
cc DENSE YEW

DECIDUOUS SHRUBS

dd DWARF FALSE SPIREA

PERENNIALS, GROUND COVERS AND GRASSES

ooo ROZANNE GRASSES
bbb VARIEGATED PLANTAIN LILY
ccc KARLEY ROSE FOUNTAIN GRASS
ddd JAPANESE FOREST GRASS

SEE SHEET D1 FOR MASTER PLANT LIST

TRANSFORMER

AS PER ARCH. DWGS.

EXISTING RETAINING WALL

EXISTING FOUR STOREY
RETIREMENT RESIDENCE

RETAINING WALL

AS PER ENG. DWGS.

WOOD PRIVACY FENCE
1750mm HIGH FENCE SURFACE
MOUNTED ON TOP OF WALL

DECIDUOUS TREE
PLANTING ON SLOPE
TYPICAL DETAIL

NATURE RESERVE

TOPSOIL & SOD

FIBRE SURFACE
TO MATCH PLAYGROUND

KEEPING TILE
TO TIE INTO BIG Ø PIPE
ALONG RETAINING WALL

SNOW STORAGE
AS PER ARCH. DWGS.

ASPHALT PAVING
AS PER ARCH. DWGS.

EDGE OF TRAIL
PAVING
AS PER ARCH. DWGS.

PAINTED LINES
AS PER ARCH. DWGS.

RETAINING WALL
AS PER ENG. DWGS.

SNOW STORAGE
AS PER ARCH. DWGS.

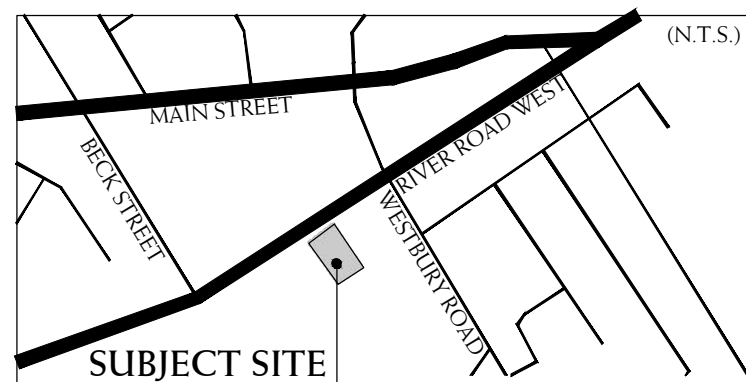
6m WIDE STORM
WATER BLOCK

RETAINING WALL
AS PER ENG. DWGS.

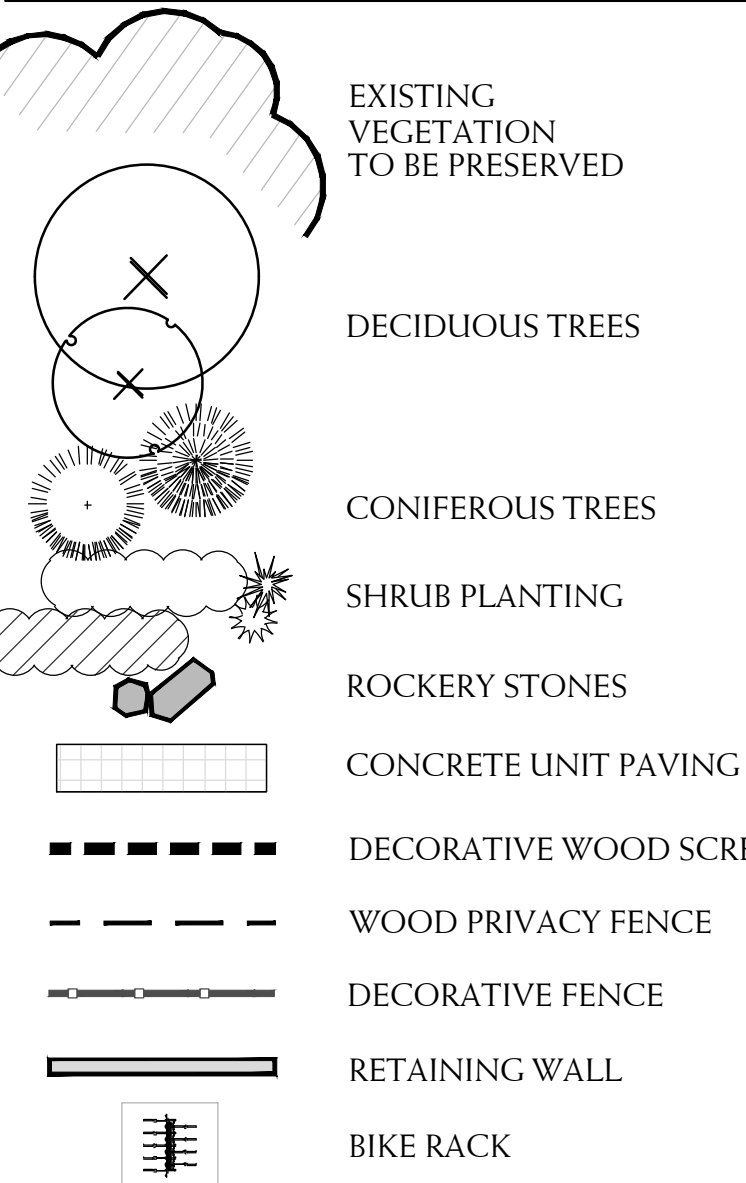
TRAIL LINK TO WOODED AREA
AS PER ARCH. DWGS.

TOPSOIL AND TERRASEEDING
TYPE 1
ALL DISTURBED AREAS
BETWEEN RETAINING WALL
AND NATURE RESERVE

KEY PLAN



LEGEND



BASE INFORMATION OBTAINED ELECTRONICALLY FROM
AND ARCHITECTURE INC. (JOB NO. 18026; TEL. 905-604-6960)

6	MAY 8 2024	ISSUED FOR APPROVAL	AV
5	JAN 18 2023	ISSUED FOR FOURTH SPA SUBMISSION	AV/ HH
4	NOV 22 2022	ISSUED FOR THIRD SPA SUBMISSION	AV/ ED
3	DEC 7 2021	ISSUED FOR SECOND SPA SUBMISSION	SO /LB
2	AUG 21 2020	ISSUED FOR ZONING & SPA SUBMISSION	RS /AV
1	JUN 31 2020	ISSUED FOR CLIENT REVIEW	LK /RS
no.	date	version	by

All information hereon to be checked and verified at the site and any
discrepancies must be reported to and clarified by the landscape architect
before commencing work. All drawings, specifications, details, digital
information, etc., prepared by the landscape architect are instruments of
service and as such are his property and must be returned at his request.



project
RIVERWOODS HOMES
RIVER ROAD WEST
WASAGA BEACH, ON
WASAGA RIVERWOODS HOMES INC.

drawing

LANDSCAPE PLANTING PLAN

date	JUNE 4, 2020	drawn	RS
scale*	1:200	file	3383 L1 V6-240508

direction	project no.
	3383
	sheet no.
	L-1

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SPECIFICATIONS

GENERAL

THESE SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH THE GENERAL CONDITIONS OF THE CONTRACT AS PREPARED BY AND AVAILABLE AT THE OFFICE OF ALEXANDER BUDREVICS & ASSOCIATES LTD.

PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL:

1. FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS OF THIS PROJECT.
2. VISIT THE SITE TO ASCERTAIN AND TAKE ACCOUNT OF EXISTING CONDITIONS AND ANY DEVIATIONS FROM THE PLANS IN WORK BY OTHERS; AND
3. FINALIZE ALL DESIGN ALTERNATIVES IN CONSULTATION WITH THE LANDSCAPE ARCHITECT.

PRIOR TO EXCAVATING, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES. IN THE EVENT OF A CONFLICT BETWEEN A PROPOSED TREE LOCATION AND AN UNDERGROUND SERVICE, THE EXACT LOCATION OF THE TREE SHALL BE DETERMINED ON SITE BY THE LANDSCAPE ARCHITECT.

THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, FACILITIES, ETC. DONE IN THE PERFORMANCE OF HIS WORK.

ALL SITE WORK SHALL CONFORM TO THE CANADIAN NATIONAL MASTER CONSTRUCTION SPECIFICATIONS, A COPY OF WHICH CAN BE OBTAINED FROM CONSTRUCTION SPECIFICATIONS CANADA.

tel: (416) 777-2198 Fax: (416) 777-2191 Email: info@ab-dco.ca

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE THOROUGHLY FAMILIAR WITH THESE SPECIFICATIONS AND THEIR IMPLICATIONS FOR THIS PROJECT.

SOFT LANDSCAPING

PLANT MATERIALS

ALL PLANTS SHALL BE INSTALLED TRUE TO SPECIFIED NAMES, SIZES, GRADES, ETC. AND SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION.

ALL PLANTS SHALL BE NURSERY GROWN.

IN THE EVENT OF A DISCREPANCY IN PLANT QUANTITY BETWEEN THE PLANTING PLAN AND THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.

THE CONTRACTOR SHALL MAKE PLANTS AVAILABLE FOR INSPECTION BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. MATERIAL NOT CONFORMING TO THE SPECIFICATIONS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER OR THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY OF THE MATERIAL ON SITE.

THE LANDSCAPE ARCHITECT MAY, UPON COMPLETION OF THE WORK AND NOTWITHSTANDING PRIOR APPROVAL AT SOURCE, REJECT PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS.

THE CONTRACTOR SHALL USE STANDARD INDUSTRY METHODS FOR PLANTING TREES. TREES SHALL BE TURNED TO GIVE THE BEST APPEARANCE; THEY SHALL ALSO BE GUYED AND STAKED IMMEDIATELY AFTER PLANTING AND AS DETAILED ON THE DRAWINGS.

BED PREPARATION

THE CONTRACTOR SHALL BACKFILL TREE PITS AND PLANTING BEDS TO SPECIFIED DEPTHS WITH EITHER PRE-MIXED TOPSOIL (VIZ. "TRIPLE-MIX") OR A MIXTURE COMPRISED OF:

- 1 PART SANDY LOAM
- 1 PART FINELY PULVERIZED CANADIAN PEAT MOSS
- 1 PART WELL-ROTTED FARM MANURE, WITH "AGRIFORM" 20-10-5 TABLETS (OR APPROVED EQUAL) ADDED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

THE CONTRACTOR SHALL CONSTRUCT TREE PITS AND SHRUB BEDS WITH SOIL SAUCERS, MULCH, AND SUBSURFACE DRAINAGE AS DETAILED.

THE CONTRACTOR SHALL CONSTRUCT SHRUB BEDS IN CONTINUOUS FORMS, THE SHAPE OF WHICH SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER. ON SLOPES, SHRUB BEDS SHALL BE FASHIONED TO ALLOW FOR PROPER DRAINAGE.

TOPSOIL & FINE GRADING

THE CONTRACTOR SHALL PLACE 150mm OF RICH TOPSOIL ON APPROVED SUBGRADES. TOPSOIL SHALL BE IMPORTED WHERE REQUIRED. 10-6-4 FERTILIZER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AT A RATE OF 7.50 kg/100m² FOR SODDED AREAS. THE MIXTURE AND RATE OF APPLICATION SHALL BE ADJUSTED FOR SEEDED AREAS.

MINOR GRADE DEFICIENCIES AND IRREGULARITIES SHALL BE ELIMINATED PRIOR TO SODDING.

SODDING

THE CONTRACTOR SHALL SOD ALL AREAS SO INDICATED ON THE DRAWINGS. SOD SHALL BE FRESHLY CUT NO. 1 GRADE NURSERY-GROWN TURF 40-75mm THICK.

SOD FOR SUNNY, EXPOSED AREAS SHALL BE 50% KENTUCKY BLUEGRASS AND 50% MERION BLUEGRASS. SOD FOR SHADED AREAS SHALL BE 50% NUGGET KENTUCKY BLUEGRASS AND 50% CREEPING RED FESCUE.

SOD SHALL BE PLACED ON PREPARED TOPSOIL, WITH JOINTS STAGGERED AND SECTIONS ADJUTED TIGHTLY. IMMEDIATELY AFTER LAYING, IRRIGATION SUFFICIENT TO ENSURE MOISTURE PENETRATION TO A DEPTH OF 100mm SHALL BE APPLIED.

SOD SHALL BE MACHINE ROLLED TO ENSURE UNIFORM CONTACT WITH TOPSOIL. SOD ON ALL SLOPES SHALL BE PEGGED WHERE REQUIRED.

TERRASEEDING

THE CONTRACTOR SHALL FINE GRADE AND FERTILIZE AS RECOMMENDED BY SOIL TEST ANALYSIS REPORT. MINOR GRADE DEFICIENCIES AND IRREGULARITIES SHALL BE ELIMINATED PRIOR TO SEEDING.

THE CONTRACTOR SHALL TERRASEED ALL AREAS WITH SPECIFIED SEED MIXTURES AS NOTED ON DRAWINGS.

DEPENDING ON SLOPE GRADATION, DEPTH OF COMPOSTED SOIL, SEED SHALL BE AS FOLLOWS:

- 0-5% SLOPE: 10-15 mm. DEPTH
- 5-10% SLOPE: 15-20 mm. DEPTH
- 10-25% SLOPE: (4:1) 20-25 mm. DEPTH
- 25-35% SLOPE: (3:1) 25-40 mm. DEPTH
- 35-45% SLOPE: 40-50 mm. DEPTH

THE CONTRACTOR SHALL FERTILIZE AS RECOMMENDED BY SEED SUPPLIER.

WATER AS REQUIRED TO OBTAIN THICK COVER. FOLLOW UP OVERSEEDING IS PART OF THIS WORK.

HARD LANDSCAPING

POURED-IN-PLACE CONCRETE WORK

THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL OF FORMWORK PRIOR TO POURING CONCRETE. ALL CONCRETE, STEEL REINFORCING, AND FORMWORK SHALL BE AS DETAILED AND SPECIFIED ON THE DRAWINGS.

THE STYLE, COLOUR, AND FINISH OF CONCRETE ELEMENTS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONCRETE WORK.

ALL STRUCTURAL CONCRETE WORK SHALL CONFORM TO LOCAL BUILDING CODES AND REGULATIONS.

BRICKWORK, STONEWORK & CONCRETE UNIT PAVING

WHERE APPLICABLE, THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OF ALL STRUCTURAL CONCRETE WORK BEFORE COMMENCING BRICKWORK, STONEWORK OR PAVING WORK.

ALL BRICKWORK, STONEWORK, AND CONCRETE UNIT PAVING SHALL BE AS DETAILED AND SPECIFIED ON THE DRAWINGS, UNLESS THE LANDSCAPE ARCHITECT AND/OR THE OWNER APPROVE SUBSTITUTIONS IN WRITING.

PRIOR TO STARTING THIS PORTION OF WORK, THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED BRICKWORK, STONEWORK, AND CONCRETE UNIT PAVERS FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER WITH RESPECT TO STYLE, COLOUR, AND FINISH. THE CONTRACTOR MAY ALSO BE ASKED TO SUBMIT SAMPLES OF ALTERNATIVES TO THE MATERIALS SPECIFIED ON THE DRAWINGS.

ALL BRICKWORK, STONEWORK, AND CONCRETE UNIT PAVING SHALL CONFORM TO LOCAL BUILDING CODES AND OTHER MUNICIPAL REQUIREMENTS.

WOODWORK

ALL WOOD SHALL BE NO. 1 GRADE DRESSED CLEAR CEDAR, PRESSURE-TREATED RED PINE, OR PRESSURE-TREATED JACK PINE, AS SPECIFIED ON THE DRAWINGS.

PRESSURE TREATMENT SHALL BE FACTORY-APPLIED COPPER CHROME ARSENATE OR EQUAL, AS PER CSA-886 SPECIFICATIONS.

CLEAR CEDAR OR SPECIALTY WOODS SHALL BE STAINED WITH TWO (2) COATS OF STAIN, PAINT OR PRESERVATIVE.

THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED FINISHES FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER PRIOR TO ITS APPLICATION. THE CONTRACTOR MAY ALSO BE ASKED TO SUBMIT SAMPLES OF ALTERNATIVES TO THE MATERIALS OR FINISHES SPECIFIED ON THE DRAWINGS.

METALWORK

PRIOR TO ORDERING MATERIAL FOR THIS PORTION OF WORK, THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED METALWORK FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT AND/OR THE OWNER WITH RESPECT TO STYLE, COLOUR, AND FINISH. THE CONTRACTOR MAY ALSO BE ASKED TO SUBMIT SAMPLES OF ALTERNATIVES TO THE MATERIALS SPECIFIED ON THE DRAWINGS.

LENGTHS FOR FENCING SHALL BE MEASURED IN THE FIELD BY THE CONTRACTOR; SCALED MEASUREMENTS FROM THE DRAWINGS SHALL NOT BE RELIED UPON FOR DETERMINING THE NUMBER OF SECTIONS OF FENCE OR THE SIZE OF GATES THAT WILL BE NEEDED.

MAINTENANCE

THE CONTRACTOR SHALL MAINTAIN ALL LANDSCAPED AREAS FOR A PERIOD OF FOUR (4) GROWING MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION.

MAINTENANCE SHALL INCLUDE:

- PROPER IRRIGATION TO ENSURE OPTIMUM GROWTH OF TREES, SHRUBS, AND SOD
- GRASS MOWING TO MAINTAIN AN APPROXIMATE HEIGHT OF 50mm
- THE CULTIVATION AND WEEDING OF TREE PITS AND PLANTING BEDS
- INSECT AND DISEASE CONTROL

AT THE END OF THE SPECIFIED MAINTENANCE PERIOD, PROVIDED ALL PLANT MATERIAL IS ALIVE AND IN A HEALTHY GROWING CONDITION, THE OWNER WILL ASSUME THE RESPONSIBILITY OF MAINTAINING THE LANDSCAPE WORK.

PERFORMANCE ACCEPTANCE (SUBSTANTIAL COMPLETION)

WRITTEN NOTICE OF PERFORMANCE ACCEPTANCE BY THE LANDSCAPE ARCHITECT FOR SUBSTANTIAL COMPLETION OF THE PROJECT LANDSCAPE WORKS SHALL MARK THE START OF THE GUARANTEE PERIOD.

SHOULD LOCAL LAW REQUIRE MUNICIPAL ACCEPTANCE, THE LANDSCAPE ARCHITECT WILL SUBMIT THE SUBSTANTIAL COMPLETION CERTIFICATE TO THE MUNICIPALITY SO THAT THEY MAY PROCEED TO INSPECT THE WORK, ISSUE THEIR PERFORMANCE ACCEPTANCE CERTIFICATE, AND REDUCE THE AMOUNT OF SECURITIES.

SHOULD LOCAL LAW REQUIRE MUNICIPAL ACCEPTANCE, THE LANDSCAPE ARCHITECT WILL SUBMIT THE FINAL ACCEPTANCE CERTIFICATE TO THE MUNICIPALITY SO THAT THEY MAY PROCEED TO INSPECT THE WORK, GIVE FINAL APPROVAL, AND RELEASE ALL OUTSTANDING LANDSCAPE SECURITIES.

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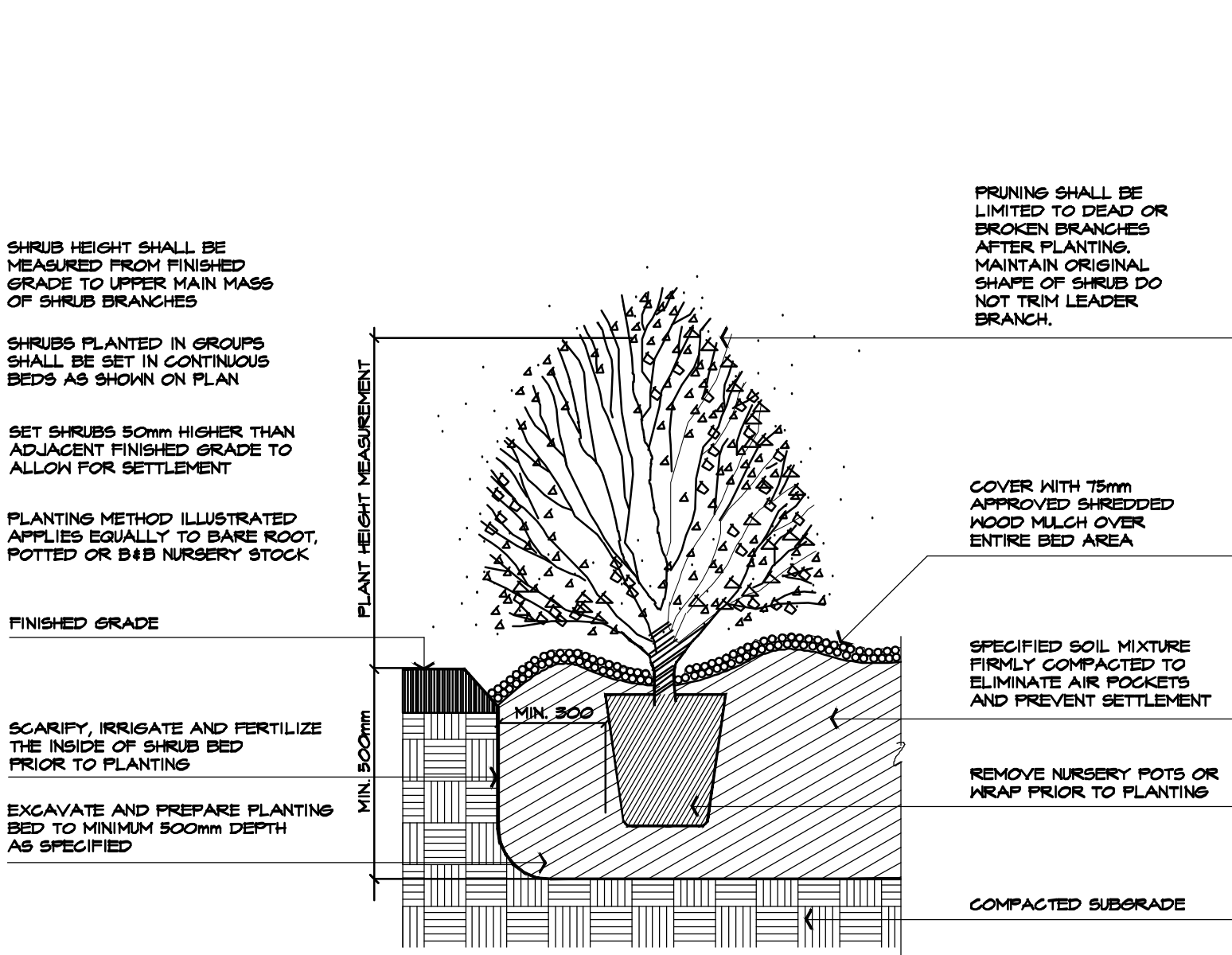
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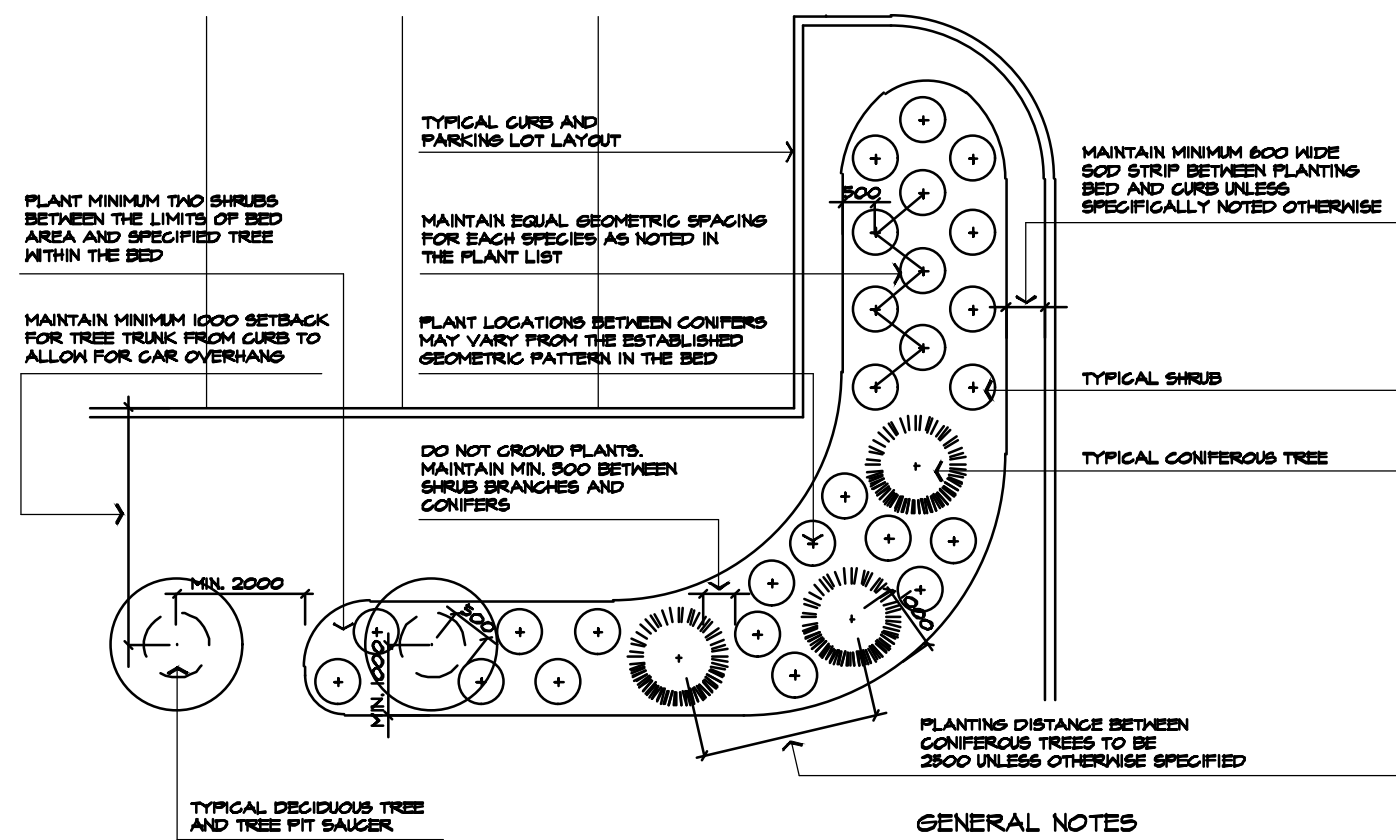
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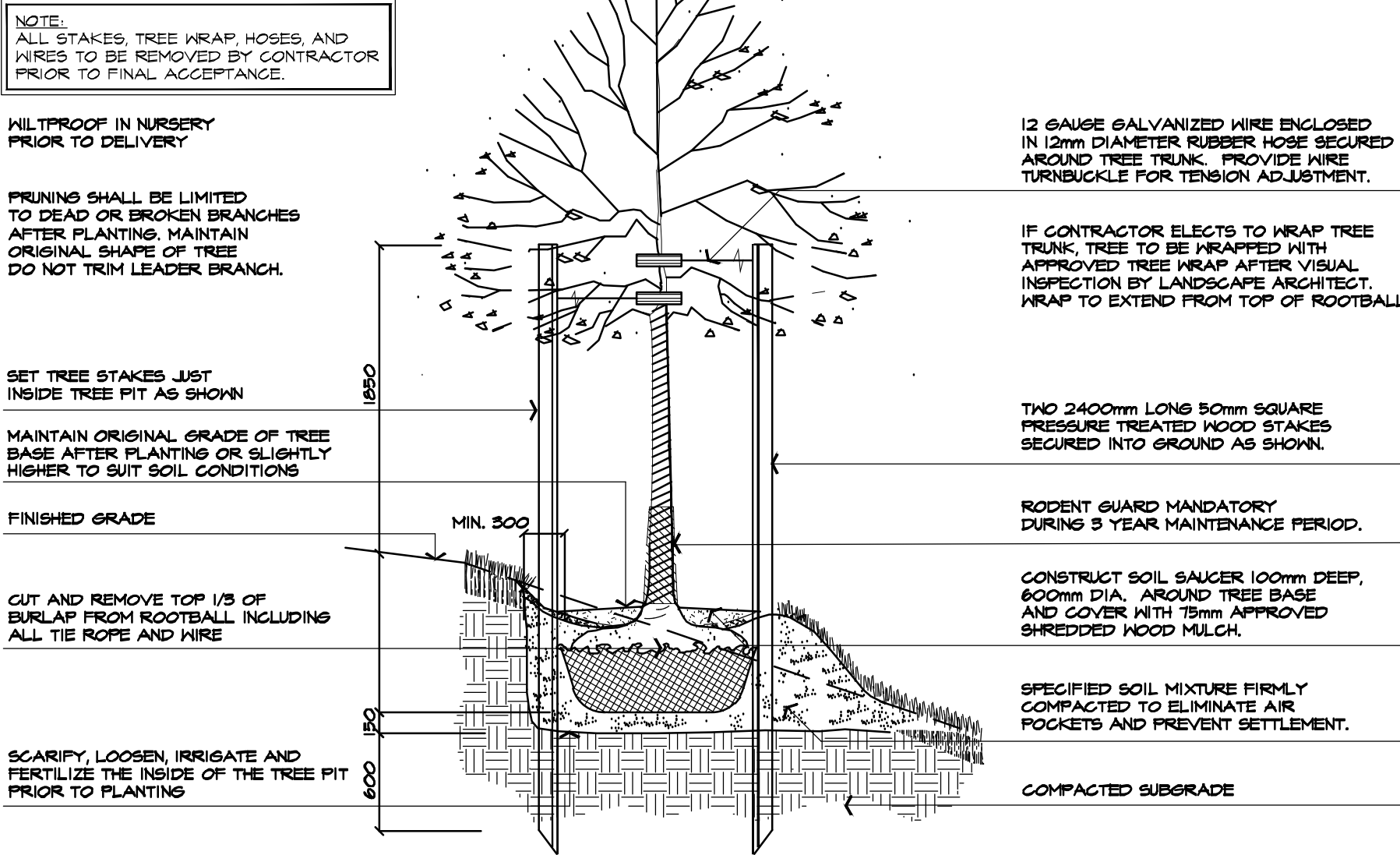
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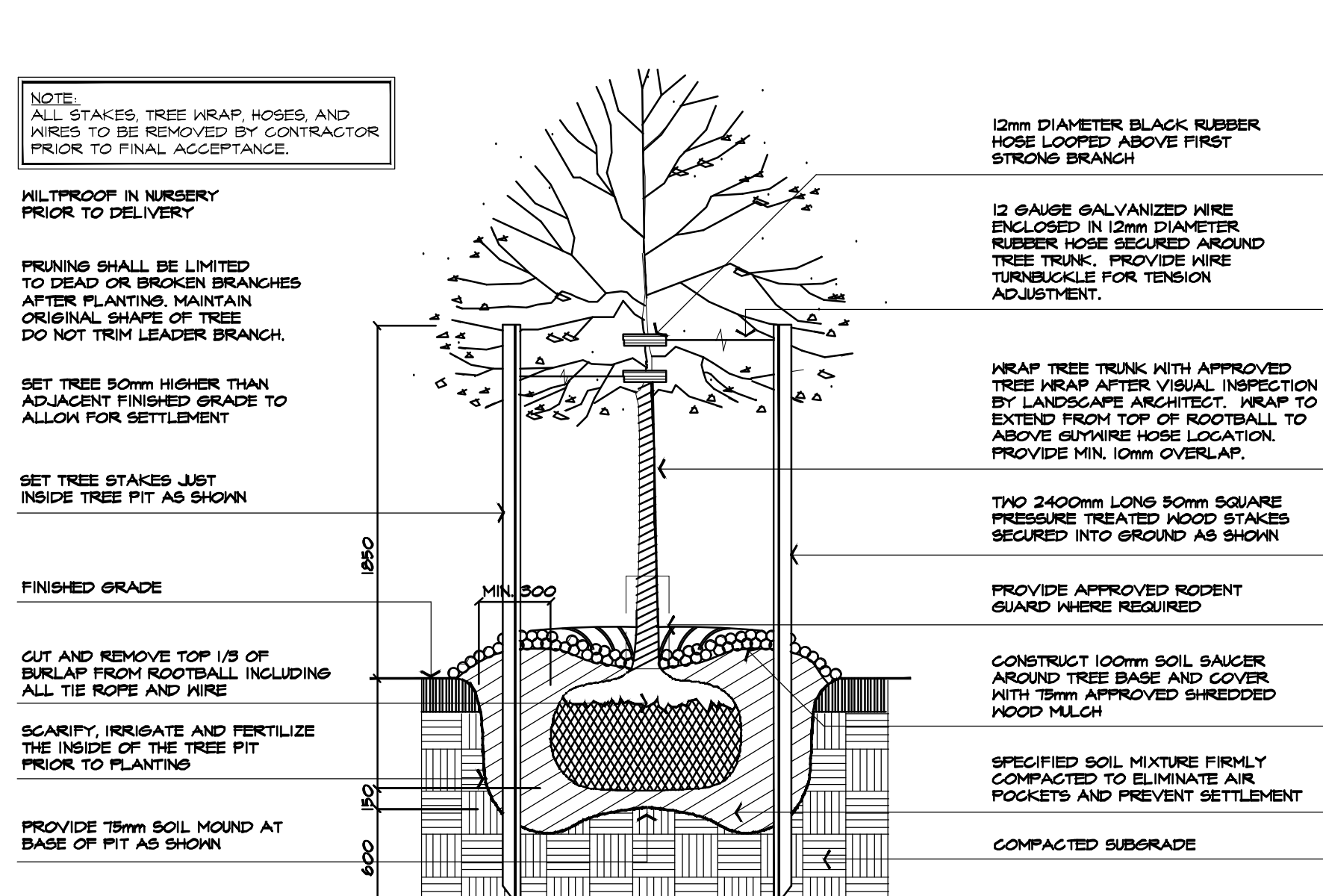
4 SHRUB PLANTING DETAIL
TYPICAL INSTALLATION
NTS
ABAL P301-040305



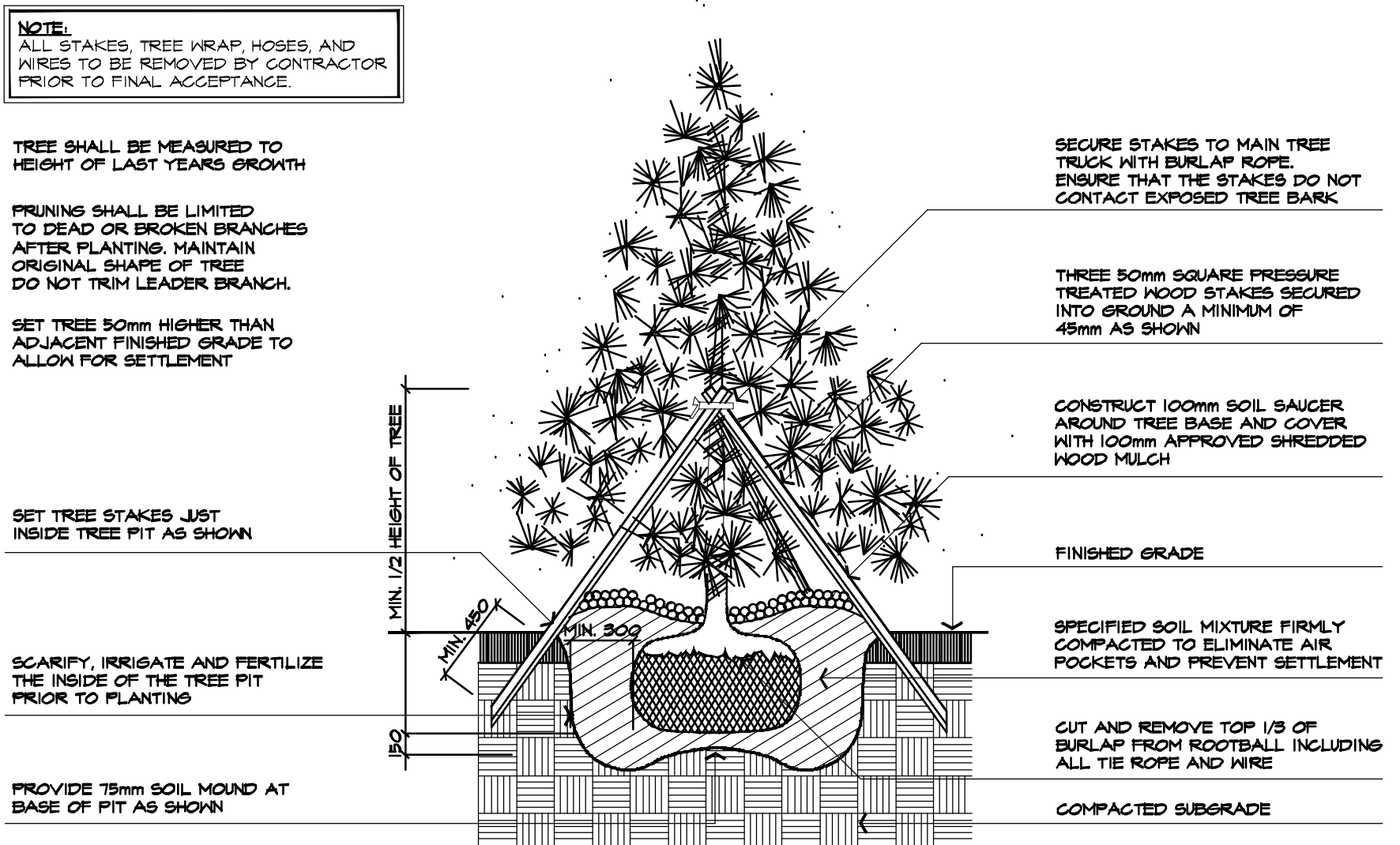
5 TYPICAL PLANTING LAYOUT
SYMBOLS REPRESENT INSTALLED PLANT SIZE
NTS
ABAL P401-040326



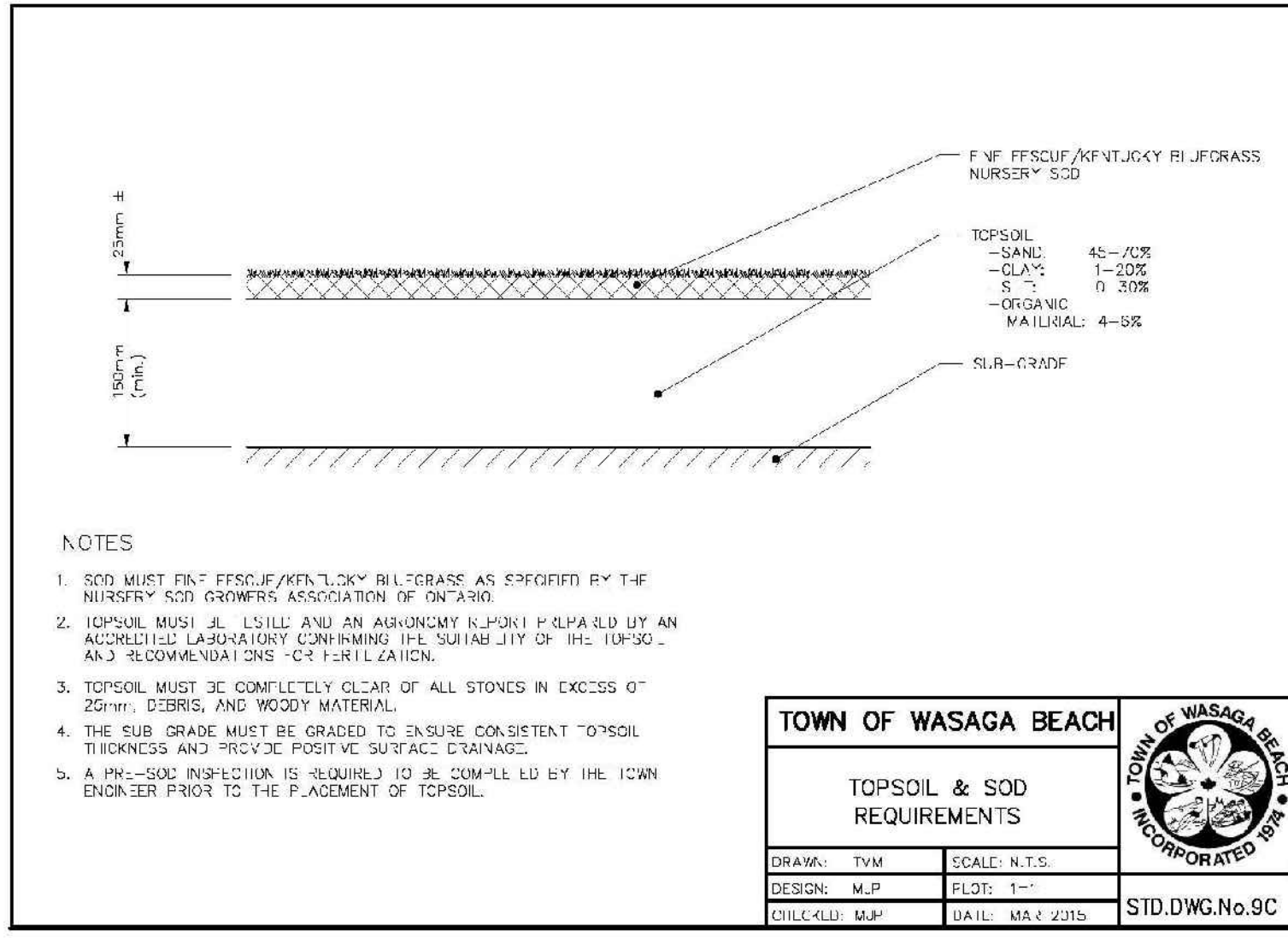
6 DECIDUOUS TREE PLANTING ON SLOPE DETAIL
NTS
ABAL P305-051021



7 DECIDUOUS TREE PLANTING DETAIL
TYPICAL INSTALLATION FOR 75mm CALIPER TREES OR LESS
NTS
ABAL P101-051021



8 CONIFEROUS TREE PLANTING DETAIL
TYPICAL INSTALLATION FOR 2000mm HEIGHT TREES OR LESS
NTS
ABAL P201-051027



9 TOPSOIL AND SOD DETAIL
TOWN OF WASAGA BEACH STANDARD DETAIL
NTS

6	MAY 8 2024	ISSUED FOR APPROVAL	AV
5	JAN 18 2023	ISSUED FOR FOURTH SPA SUBMISSION	AV/HH
4	NOV 22 2022	ISSUED FOR THIRD SPA SUBMISSION	AV/ED
3	DEC 7 2021	ISSUED FOR SECOND SPA SUBMISSION	SO/LB
2	AUG 21 2020	ISSUED FOR ZONING & SPA SUBMISSION	RS/AV
1	JUN 31 2020	ISSUED FOR CLIENT REVIEW	LK/RS
no.	date	version	by

All information hereon to be checked and verified at the site and any discrepancies must be reported to and clarified by the landscape architect before commencing work. All drawings, specifications, details, digital information, etc., prepared by the landscape architect are instruments of service and as such are his property and must be returned at his request.

ALEXANDER BUDREVICS & ASSOCIATES LIMITED LANDSCAPE ARCHITECTS

895 Don Mills Road, Second Tower, Suite 212
Toronto, Ontario, Canada, M3C 1W3

416.444.5201

www.budrevics.com

project

RIVERWOODS HOMES
RIVER ROAD WEST
WASAGA BEACH, ON

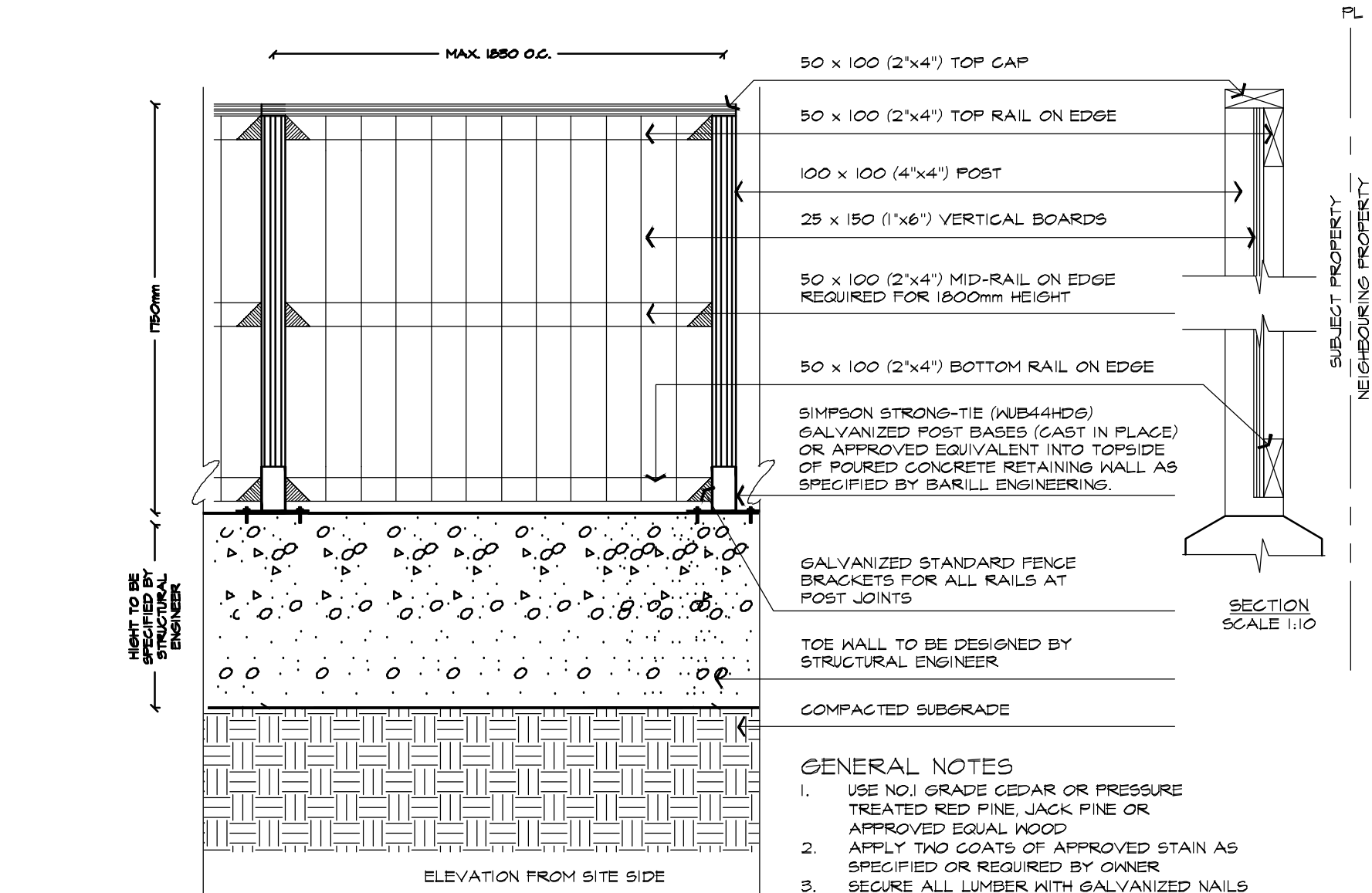
WASAGA RIVERWOODS HOMES INC.

drawing

PLANTING DETAILS

date	JUNE 4, 2020	drawn	RS
scale*	AS SHOWN	file	3383 D1 V6-240508
direction		project no.	3383
		sheet no.	D-1

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (34"x36") SIZE SHEET



WOOD PRIVACY FENCE DETAIL
SCALE 1:25
ABAL F301Ax-240508

6	MAY 8 2024	ISSUED FOR APPROVAL	AV
5	JAN 18 2023	ISSUED FOR FOURTH SPA SUBMISSION	AV/ HH
4	NOV 22 2022	ISSUED FOR THIRD SPA SUBMISSION	AV/ ED
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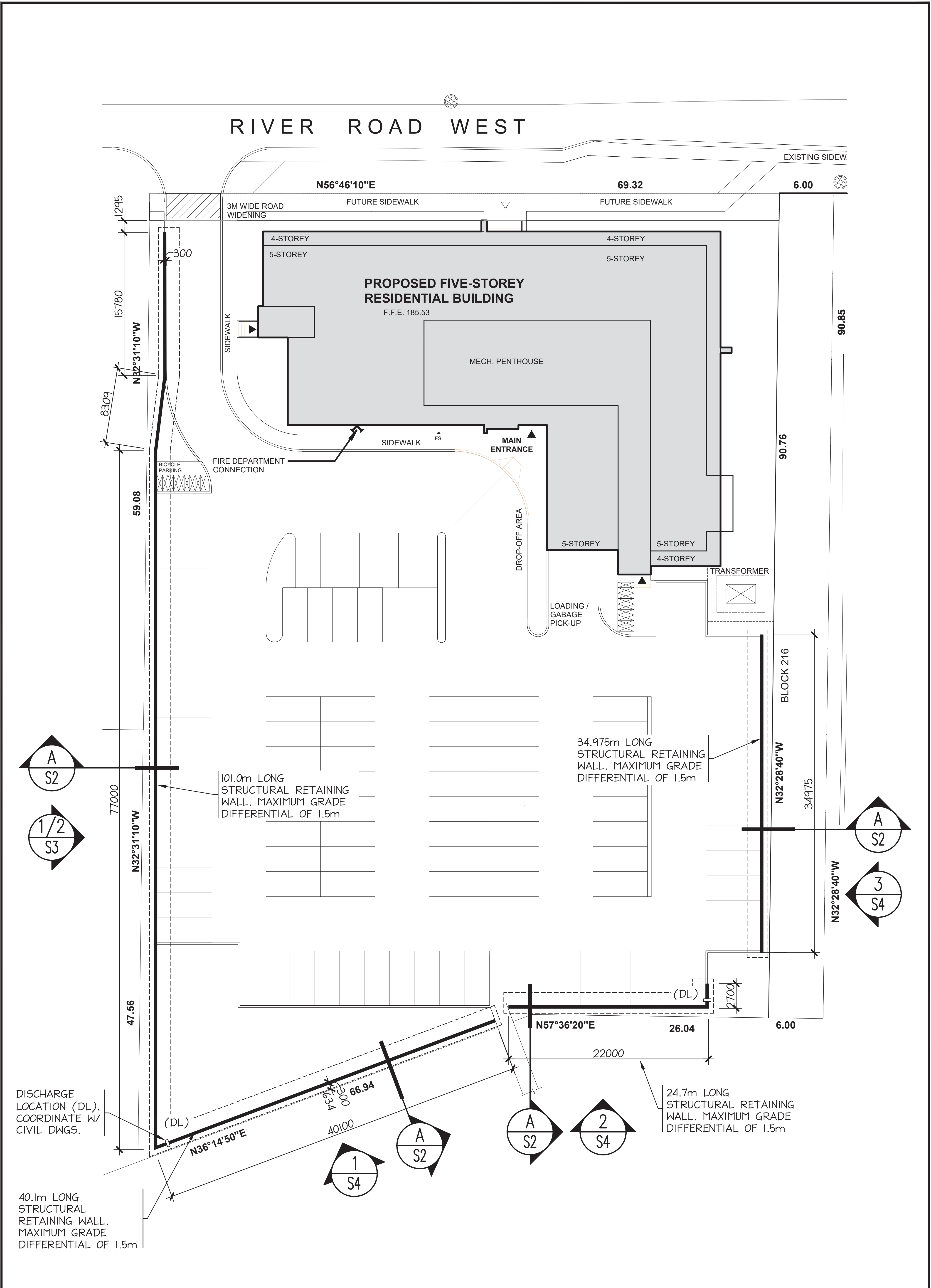
WASAGA RIVERWOODS HOMES INC.

drawing

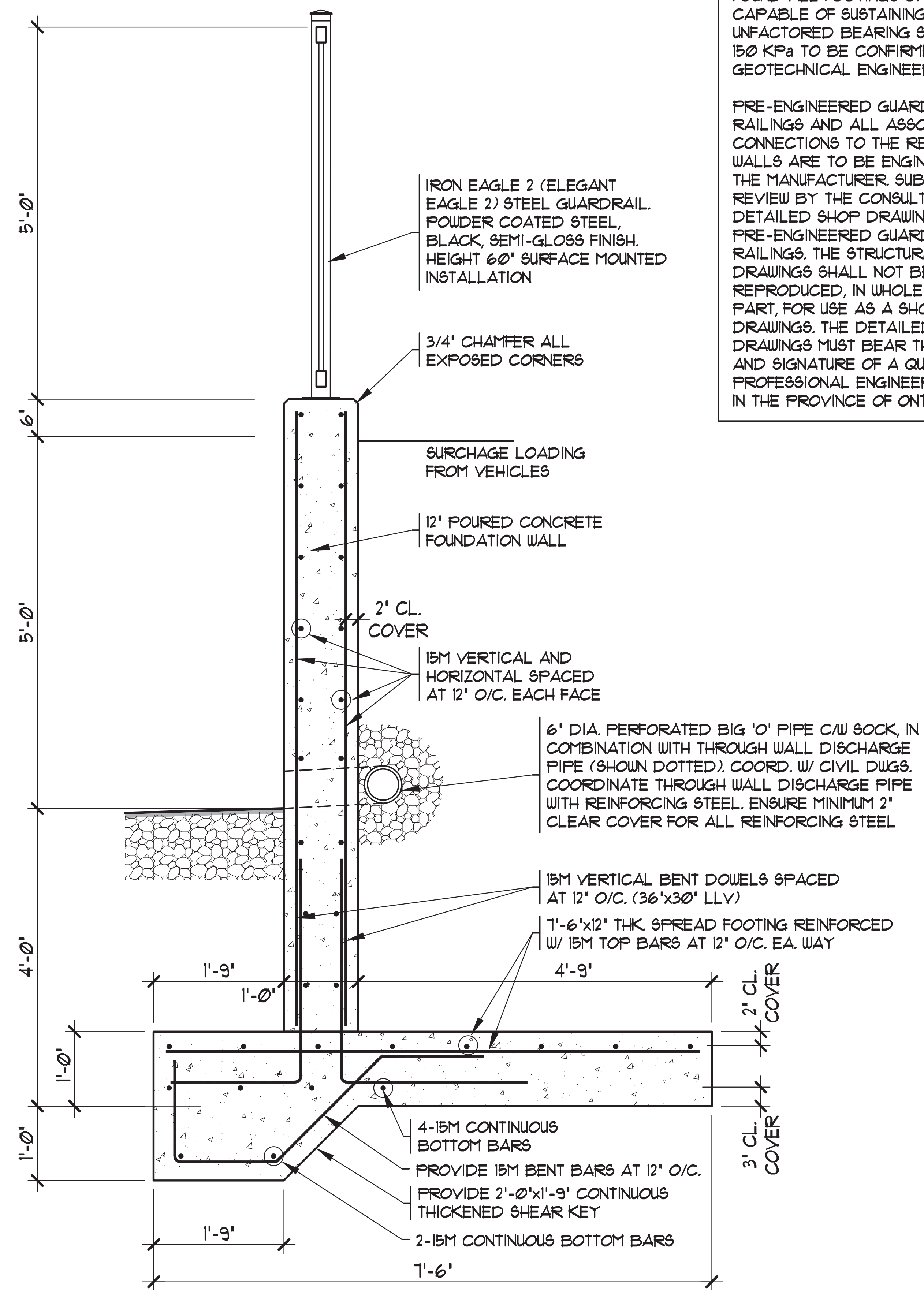
LANDSCAPE DETAILS

date	JUNE 4 , 2020	drawn	RS
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direction		project no.	3383
		sheet no.	D-3

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (34"x36") SIZE SHEET



DRAWING TITLE PROPOSED RETAINING WALL SITE PLAN LAYOUT		SCALE: NOT TO SCALE	STAMP
PROJECT WASAGA RIVERWOODS RETAINING WALLS		DRAWN BY MHW	
RIVER ROAD WEST WASAGA BEACH, ONTARIO		CHECK BY JB	
50 TRAIL'S END, COLLINGWOOD, ONTARIO, L9Y 5B2 PHONE: (705) 445-4905 FAX: (705) 445-6107		DATE SEP. 16/22	
		PROJECT NO. 21-256	
		SHEET NUMBER S1	



STRUCTURAL DESIGN NOTES:

FOUNDATION SUBSTRUCTURE:
FOUND ALL FOOTINGS ON SOIL CAPABLE OF SUSTAINING AN UNFACTORED BEARING STRESS OF 150 KPa TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.

PRE-ENGINEERED GUARDS AND RAILINGS AND ALL ASSOCIATED CONNECTIONS TO THE RETAINING WALLS ARE TO BE ENGINEERED BY THE MANUFACTURER. SUBMIT FOR REVIEW BY THE CONSULTANT, DETAILED SHOP DRAWINGS FOR PRE-ENGINEERED GUARDS AND RAILINGS. THE STRUCTURAL DRAWINGS SHALL NOT BE REPRODUCED, IN WHOLE OR IN PART, FOR USE AS A SHOP DRAWING. THE DETAILED SHOP DRAWINGS MUST BEAR THE SEAL AND SIGNATURE OF A QUALIFIED PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.

CONCRETE MIX SCHEDULE

	STRENGTH AT 28 DAYS (MPa)	SLUMP AT DELIVERY (mm)	AIR ENTRAINMENT	MAXIMUM W/C RATIO	EXPOSURE CLASSIFICATION
FOOTINGS	20	80 +/- 20	---	TO SUIT	N
EXTERIOR WALLS	30	80 +/- 20	5-8%	TO SUIT	F-2
EXTERIOR SIDEWALKS, CURBS AND APRON SLABS	32	80 +/- 20	5-8%	0.45	C-2

A
S2
RETAINING WALL - SECTION A-A
NOT TO SCALE

STAMP



SCALE: NOT TO SCALE	DRAWN BY: MHW	CHECK BY: JB	DATE: SEP. 16/22	PROJECT NO.: 21-256	SHEET NUMBER: S2
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RETAINING WALL - SECTIONS A-A

BARILL
ENGINEERING LIMITED

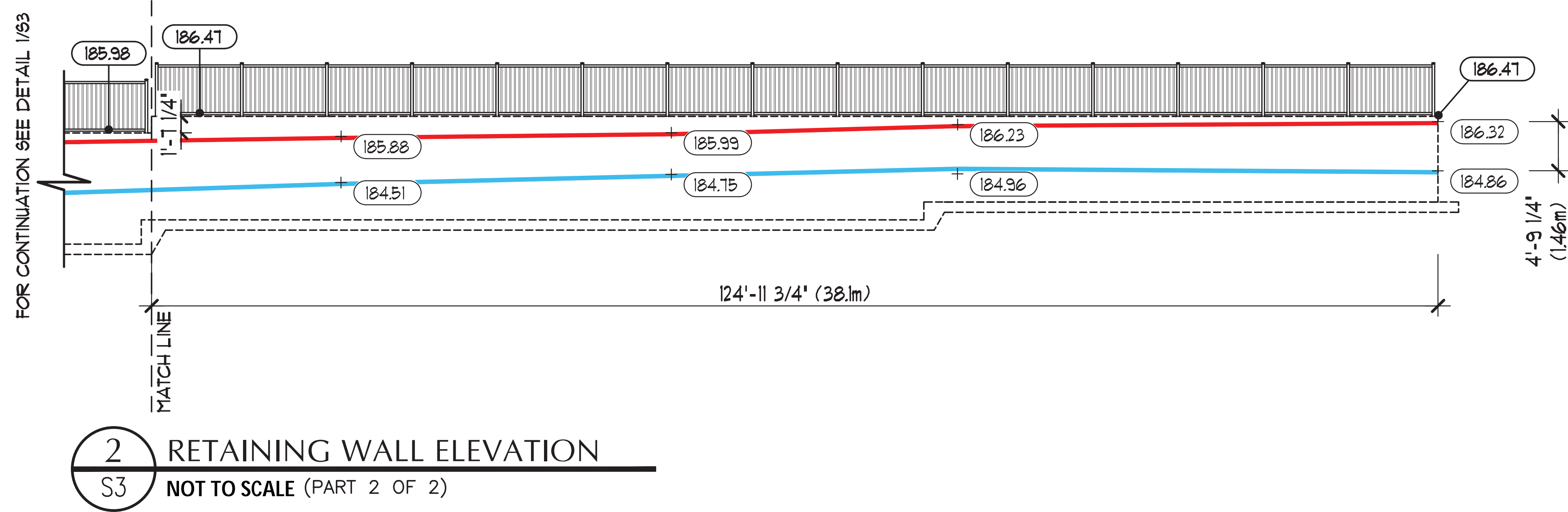
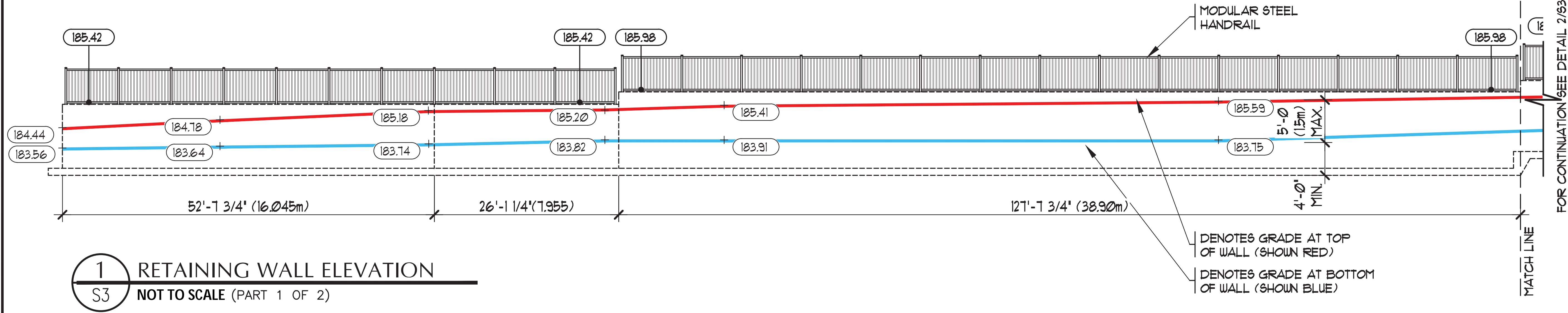
50 TRAIL'S END, COLLINGWOOD, ONTARIO, L9Y 5B2
PHONE: (705) 445-4905 FAX: (705) 445-6107

DRAWING TITLE: RETAINING WALL - SECTIONS A-A



PROJECT: WASAGA RIVERWOODS RETAINING WALLS

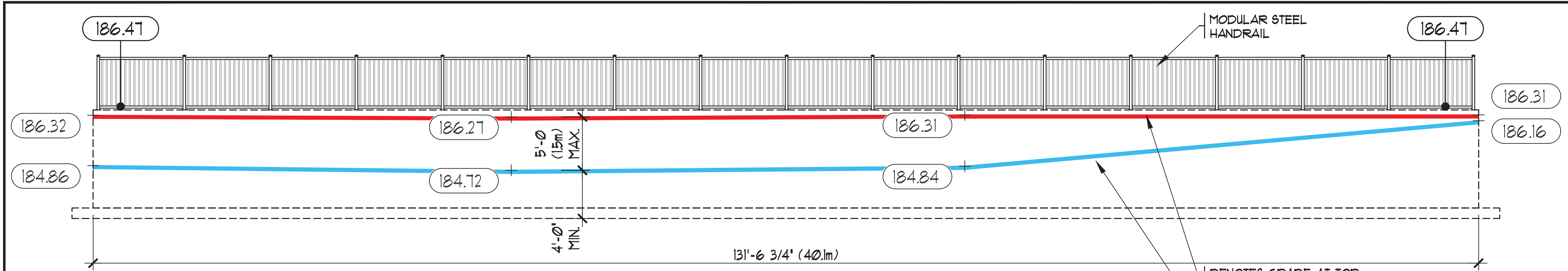
RIVER ROAD WEST
WASAGA BEACH, ONTARIO

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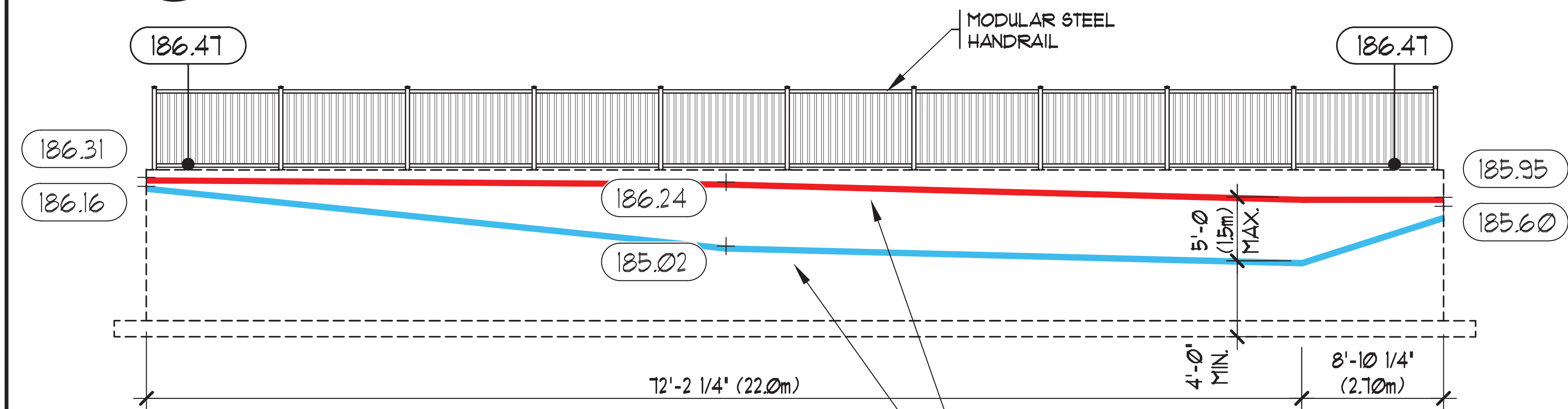


LEGEND	
185.42	DENOTES TOP OF WALL (COORDINATE W/ CIVIL DWGS.)
+ 183.82	DENOTES PROPOSED CIVIL GRADING (REFER TO CIVIL DWGS.)

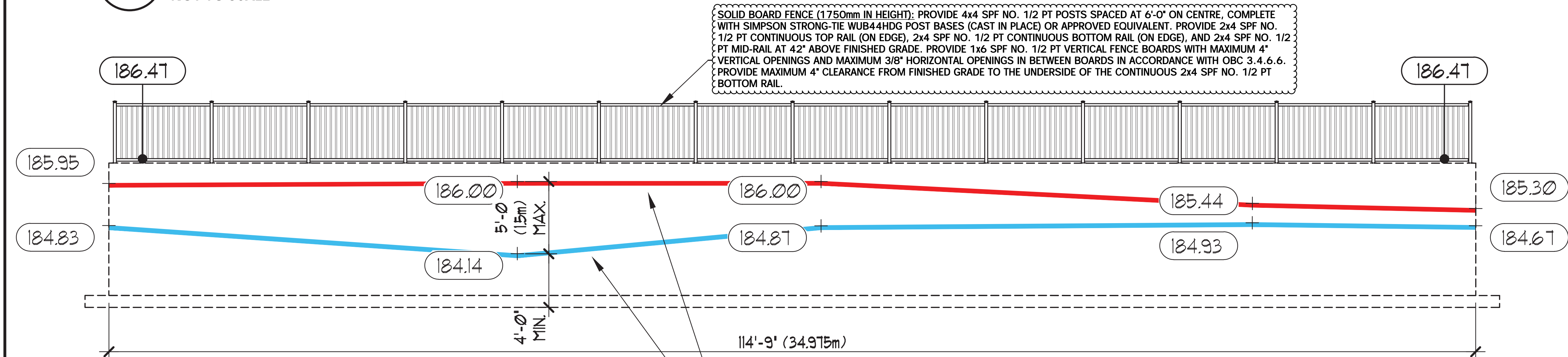
DRAWING TITLE	RETAINING WALL - SECTIONS A-A AND B-B				
	PROJECT WASAGA RIVERWOODS RETAINING WALLS RIVER ROAD WEST WASAGA BEACH, ONTARIO				
DRAFTING	SCALE: NOT TO SCALE	DRAWN BY: MHW	CHECK BY: JB	DATE: SEP. 16/22	PROJECT NO. 21-256
	SHEET NUMBER S3				
<div><div>BARILL ENGINEERING LIMITED</div><div>50 TRAIL'S END, COLLINGWOOD, ONTARIO, L9Y 5B2 PHONE: (705) 445-4905 FAX: (705) 445-6107</div></div> <div><div></div><div>This document contains confidential information, is an instrument of service and the property of the Consultant. It shall not be reproduced, used on other projects or used for the extension of this project without the written approval of the Consultant.</div></div>					



1 RETAINING WALL ELEVATION
S4 NOT TO SCALE



2 RETAINING WALL ELEVATION
S4 NOT TO SCALE



3 RETAINING WALL ELEVATION
S4 NOT TO SCALE

LEGEND

● 185.42 DENOTES TOP OF WALL (COORDINATE W/ CIVIL DWGS.)

+ 183.82 DENOTES PROPOSED CIVIL GRADING (REFER TO CIVIL DWGS.)

REVISION 1: MAY 7, 2024

SOLID BOARD FENCE (1750mm IN HEIGHT): PROVIDE 4x4 SPF NO. 1/2 PT POSTS SPACED AT 6'-0\"/>

STAMP	
SCALE: NOT TO SCALE	DRAWN BY: MHW
CHECK BY: JB	DATE: SEP. 16/22
PROJECT NO. 21-256	SHEET NUMBER
S4	
RETAINING WALL - SECTIONS A-A AND B-B	
50 TRAIL'S END, COLLINGWOOD, ONTARIO, L9Y 5B2 PHONE: (705) 445-4905 FAX: (705) 445-6107	
PROJECT: WASAGA RIVERWOODS RETAINING WALLS	
RIVER ROAD WEST WASAGA BEACH, ONTARIO	
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STRUCTURAL NOTES

A. GENERAL

1. WHERE DOCUMENTS ARE REFERENCED IN THE GENERAL AND DESIGN NOTES, THEY SHALL BE THE LATEST EDITIONS OR REVISION, UNLESS NOTED OTHERWISE.
2. READ STRUCTURAL DOCUMENTS IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND OTHER CONTRACT DOCUMENTS.
3. BEFORE PROCEEDING WITH THE WORK, CHECK ALL DIMENSIONS SHOWN ON THE STRUCTURAL DOCUMENTS WITH SITE CONDITIONS AND THOSE SHOWN ON THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DOCUMENTS AND REPORT DISCREPANCIES TO THE CONSULTANT.
4. CARRY OUT CONSTRUCTION OPERATIONS, INCLUDING THE INSTALLATION OF TEMPORARY GUYING AND SHORING REQUIRED, ENSURING THAT THE EXISTING STRUCTURE OR MEMBERS ALREADY ERRECTED ARE NOT LOADED IN EXCESS OF THEIR SAFE LOAD CARRYING CAPACITY.

B. REFERENCE STANDARDS/CODES AND ACTS

1. CONFORM WITH THE ONTARIO REGULATION 332/12, AND ANY APPLICABLE ACTS OF ANY AUTHORITY HAVING JURISDICTION, AND THE FOLLOWING:
- 1.1 CAN/CSA A23.1 - CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION.
- 1.2 CAN/CSA A23.2 - METHODS OF TEST FOR CONCRETE.
- 1.3 CAN/CSA A23.3 - DESIGN OF CONCRETE STRUCTURES.
- 1.4 CAN/CSA-S16 - LIMIT STATES DESIGN OF STEEL STRUCTURES.
- 1.5 RSIC - REINFORCING STEEL INSTITUTE OF CANADA (RSIC), MANUAL OF STANDARD PRACTICE.
- 1.6 S136 - COLD FORMED STEEL STRUCTURAL MEMBERS.
- 1.7 CAN/CSA G40.20/G40.21 - STRUCTURAL QUALITY STEEL.
2. ALL STANDARDS AND PUBLICATIONS REFERENCED BY THE STANDARDS NOTED ABOVE ARE TO APPLY.
3. WHERE THERE ARE DIFFERENCES BETWEEN THE DOCUMENTS AND THE STANDARDS, CODES AND ACTS, THE MOST STRINGENT SHALL GOVERN.

C. QUALIFICATIONS

1. ANY ORGANIZATION UNDERTAKING TO WELD UNDER THIS CONTRACT SHALL BE CERTIFIED BY THE CANADIAN WELDING BUREAU UNDER REQUIREMENTS OF DIVISION 1 OR DIVISION 2.1 OF W47.1.

D. SUBMITTALS

1. SHOP DRAWINGS
- 1.1. SUBMIT FOR REVIEW BY THE CONSULTANT, DETAILED SHOP DRAWINGS FOR ALL TEMPORARY AND PERMANENT STRUCTURAL AND ARCHITECTURAL WORK INCLUDING, BUT NOT LIMITED TO: PRE-ENGINEERED STRUCTURAL STEEL OR ALUMINUM GUARDRAILS.
- 1.2. THE SCALE OF THE DRAWINGS SHALL BE SUCH THAT THE DETAILS OF THE STRUCTURAL WORK ARE CLEARLY SHOWN, AND IN NO CASE SMALLER THAN 1:50 (1/4" = 10").
- 1.3. THE STRUCTURAL DRAWINGS SHALL NOT BE REPRODUCED, IN WHOLE OR IN PART, FOR USE AS SHOP DRAWINGS.
- 1.4. EACH DRAWING SUBMITTED FOR PRE-ENGINEERED STRUCTURAL STEEL OR ALUMINUM GUARDRAILS SHALL BEAR THE SEAL AND SIGNATURE OF A QUALIFIED PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
- 1.5. CONTRACTOR SHALL ALLOW FOR A 5 WORKING DAY TURN AROUND TIME FOR STRUCTURAL CONSULTANT TO REVIEW THE SHOP DRAWINGS.

CONCRETE MIX DESIGNS

- 2.1. SUBMIT ALL CONCRETE MIX DESIGNS FOR REVIEW.
- 2.2. DESCRIBE IN DETAIL ON THE MIX DESIGN SUMMARY THE LOCATION(S) WHERE EACH MIX IS TO BE PLACED IN THE STRUCTURE.

AS-BUILT DRAWINGS

- 3.1. MARK ON A COMPLETE SET OF REPRODUCIBLE AS-BUILT DRAWINGS ANY CHANGES, ADDITIONS, OR DELETIONS THAT OCCUR DURING CONSTRUCTION AS A RESULT OF THE CONTRACTOR'S WORK, CHANGE OF ORDERS OR FOR ANY OTHER REASON.

E. MATERIALS

1. PROVIDE ONLY NEW STRUCTURAL MATERIALS IN ACCORDANCE WITH THE REFERENCE STANDARDS AND THE FOLLOWING, UNLESS OTHERWISE NOTED.
- 1.1. CONCRETE: CONFORM TO THE REQUIREMENTS OF CSA-A23.1 AND THE FOLLOWING:
- 1.1.1. EXPOSED TO FREEZE-THAW & CHLORIDES (EXPOSURE CLASS C-1): $f_c = 35\text{MPa}$.
- 1.1.2. EXPOSED TO FREEZE-THAW (EXPOSURE CLASS F-1): $f_c = 30\text{MPa}$.
- 1.1.3. NOT EXPOSED: $f_c = 25\text{MPa}$.
- 1.2. REINFORCEMENT: CONFORM TO CSA G30 SERIES, $F_y=400\text{MPa}$ FOR ALL REINFORCEMENT. ALL REINFORCEMENT IS TO BE BLACK EXCEPT WHERE THE SUFFIX C IS USED TO DESIGNATE EPOXY COATED REINFORCEMENT.
- 1.3. ANCHOR BOLTS: GRADE A307 OR 300W THREADED ROD CONFORMING TO CSA G40.21-M.
- 1.4. NON-SHRINK GROUT = PREMIXED COMPOSITION OF NON METALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING AGENTS, OF FLOWABLE CONSISTENCY AND CAPABLE OF ACHIEVING A COMPRESSIVE STRENGTH AT 28 DAYS OF AT LEAST 35 MPa (5 ksi).
- 1.5. FOUNDATION INSULATION: EXTRUDED POLYSTYRENE WITH A MINIMUM COMPRESSIVE STRENGTH OF 0.24 MPA UNLESS NOTED OTHERWISE.

F. EXECUTION

1. FOUNDATIONS

- 1.1. A COPY OF THE SOIL INVESTIGATION REPORT BY SOIL ENGINEERS LIMITED DATED MAY 203.5
- 1.2. 14 IS AVAILABLE FROM THE CONSULTANT. READ THE REPORT, VISIT THE SITE AND THOROUGHLY FAMILIARIZE YOURSELF WITH ALL SURFACE AND SUBSURFACE CONDITIONS. THIS INFORMATION IS GIVEN SOLELY AS A GUIDE. NO RESPONSIBILITY IS ACCEPTED BY THE OWNER OR THE CONSULTANT FOR ITS CORRECTNESS, NOR SHALL ITS ACCURACY OR ANY OMISSIONS AFFECT THE PROVISION OF THIS CONTRACT.
- 1.3. FOUND ALL FOOTINGS ON SOIL CAPABLE OF SUSTAINING AN UNFACTORED BEARING STRESS OF 150 kN/m2 (3000 psf).
- 1.4. FOUND ALL FOOTINGS WHICH WILL BE EXPOSED TO FROST ACTION IN THE COMPLETED BUILDING A MINIMUM OF 1200mm (4'-0") BELOW FINISHED GRADE.
- 1.5. DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS. FOR STEPPED FOOTINGS, USE STEPS NOT EXCEEDING 600 mm (2'-0") IN HEIGHT AND 1200 mm (4'-0") (MIN.) IN LENGTH.
- 1.6. SOIL BEARING CAPACITY SPECIFIED MUST BE VERIFIED IN WRITING BY THE SOIL ENGINEER PRIOR TO THE PLACING OF FOOTINGS AND ANY NON-CONFORMANCE WITH THE SPECIFIED MINIMUM CAPACITIES MUST BE IMMEDIATELY REPORTED TO THE STRUCTURAL ENGINEERS.
- 1.7. PLACE 150mm (6") CLEAR CRUSHED STONE OVER THE SUB_BASE, COMPACTED TO 100% SPMDD, WITH A MAXIMUM SURFACE VARIATION OF +/- 10MM.
- 1.8. BELOW SLABS ON GRADE BACKFILL USING NATIVE MATERIALS OR ENGINEERED FILL APPROVED BY THE GEOTECHNICAL CONSULTANT AND COMPACT IN MAX 150 MM LIFTS TO 98% SPMDD.
- 1.9. BELOW EXTERIOR LANDSCAPED AREAS BACKFILL USING NATIVE MATERIALS OR FREE DRAINING MATERIALS AND COMPACT IN MAX 150 MM LIFTS TO 98% SPMDD.
- 1.10. PROVIDE TEMPORARY FROST PROTECTION, DURING CONSTRUCTION, FOR ALL FOUNDATIONS WHICH ARE NOT FOUNDED A MINIMUM OF 1200mm (4'-0") BELOW GRADE.
- 1.11. FOUND NEW FOOTINGS WHICH ARE LOCATED ADJACENT TO EXISTING FOOTINGS, AT THE SAME ELEVATION AS THE EXISTING FOOTINGS, UNLESS NOTED OTHERWISE.
- 1.12. INSULATION IS SHOWN WHERE REQUIRED FOR PROTECTION OF THE FOUNDATIONS FROM DAMAGE DUE TO FROST ACTION ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR FOUNDATION INSULATION NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- 1.13. DO NOT PLACE BACKFILL AGAINST WALLS RETAINING EARTH (OTHER THAN CANTILEVER RETAINING WALLS) UNTIL THE WALLS AND THE FLOOR CONSTRUCTION AT TOP AND BOTTOM OF THE WALLS HAVE BEEN CAST AND ATTAINED 100% OF THEIR DESIGN STRENGTH.
- 1.14. WHERE THE SLAB ON GRADE IS USED TO TIE THE TOP OF WALL RETAINING EARTH, THAT WALL SHALL BE ADEQUATELY BRACED UNTIL THE SLAB HAS BEEN CAST AND ATTAINED 100% OF ITS DESIGN STRENGTH.
- 1.15. CARRY OUT BACKFILLING AGAINST FOUNDATION WALLS WHERE THERE IS GRADE ON BOTH SIDES IN SUCH A MANNER THAT THE LEVEL OF BACKFILLING ON ONE SIDE OF THE WALL IS NEVER MORE THAN 600 MM (2'-0") DIFFERENT FROM THE LEVEL ON THE OTHER SIDE OF THE WALL.
- 1.16. DO NOT COMPACT CLOSER THAN 1800 MM (6'-0") FROM WALLS WITH HEAVY EQUIPMENT. USE LIGHT HAND CONTROLLED EQUIPMENT WITHIN 1800 MM (6'-0") FROM WALLS.

2. SLAB-ON-GRADE

- 2.1. PLACE SLAB-ON-GRADE ON MATERIAL CAPABLE OF SUSTAINING A MINIMUM SLAB BEARING PRESSURE OF 25 kPa (500 psf) WITHOUT SETTLEMENT.

3. CONCRETE

- 3.1. THE CONTRACTOR SHALL ENSURE THAT REINFORCING STEEL IS ADEQUATELY BRACED AGAINST MOVEMENT DURING CONCRETE PLACING.
- 3.2. FABRICATE REINFORCEMENT IN ACCORDANCE WITH CAN/CSA A23.1 AND THE RSIC MANUAL OF STANDARD PRACTICE.
- 3.3. PERFORM FORMING OPERATIONS AND PLACE HARDWARE SO THAT FINISHED CONCRETE WILL BE WITHIN THE TOLERANCES SET OUT IN CAN/CSA-A23.1.
- 3.4. FOLLOW MANUFACTURER'S INSTRUCTIONS REGARDING INSTALLATION PROCEDURES AND MINIMUM EMBEDMENT OF ANCHORS.
- 3.5. GROUT BENEATH PLATES BEARING ON CONCRETE WITH AN APPROVED NON_SHRINK FLOWABLE GROUT. CONFORM TO THE MANUFACTURER'S DIRECTIONS FOR MIXING AND PLACING GROUT. COMPLETELY FILL VOIDS BENEATH STEEL BASES ON CONCRETE WITH AN APPROVED NON-SHRINK 35 MPa (5ksi) GROUT.
- 3.6. ALL DOWELS SHALL HAVE MINIMUM EMBEDMENT EQUIVALENT TO THE STRAIGHT TENSION EMBEDMENT LENGTH OR 600 MM (2'-0"), WHICHEVER IS GREATER, UNLESS NOTED OTHERWISE.
- 3.7. PROVIDE DOWELS TO WALLS AND COLUMNS SIMILAR IN NUMBER, SIZE, AND SPACING TO THE VERTICAL STEEL IN THE WALL OR COLUMN ABOVE UNLESS NOTED OTHERWISE.
- 3.8. REINFORCEMENT IDENTIFIED AS 'CONTINUOUS' SHALL TERMINATE WITH STANDARD END HOOKS AND SHALL BE LAPPED WITH CLASS 'B' TENSION LAP SPLICES.
- 3.9. REINFORCEMENT LENGTHS NOTED IN TYPICAL DETAILS ARE MINIMUM LENGTHS UNLESS NOTED OTHERWISE.
- 3.10. CONSTRUCTION JOINTS:
- 3.10.1. HORIZONTAL CONSTRUCTION JOINTS SHALL NOT BE MADE IN BEAMS, UNLESS SHOWN OR APPROVED BY THE CONSULTANT.
- 3.10.2. HORIZONTAL CONSTRUCTION JOINTS IN WALLS SHALL BE ONLY MADE WHERE SHOWN ON THE DRAWINGS.
- 3.10.3. VERTICAL CONSTRUCTION JOINTS MAY BE MADE ONLY AT MIDSPAN OF BEAMS AND SLABS UNLESS NOTED OTHERWISE.
- 3.10.4. SUBMIT PROPOSED LOCATION OF ALL CONSTRUCTION JOINTS FOR REVIEW BY THE CONSULTANT.
- 3.11. OPENINGS, SLEEVES, EMBEDDED DUCTS:

- 3.11.1. NO SLEEVES SHALL BE PLACED VERTICALLY OR HORIZONTALLY THROUGH BEAMS UNLESS REVIEWED AND APPROVED BY THE CONSULTANT.
- 3.11.2. NO OPENINGS SHALL BE MADE IN FLAT PLATE OR FLAT SLAB UNLESS REVIEWED AND APPROVED BY THE CONSULTANT.

3.12. CONCRETE COVER:

- 3.12.1. COVER SHALL BE MEASURED FROM THE DEEPEST POINT TEXTURED CONCRETE SURFACE TO THE NEAREST DEFORMATION OF REINFORCEMENT. REINFORCEMENT INCLUDES TIES / STIRRUPS AND MAIN REINFORCEMENT.
- 3.12.2. ALL CONCRETE CAST AGAINST EARTH IS TO HAVE 75 MM (3") COVER, UNO.
- 3.13. WHERE REINFORCEMENT IS NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS, PROVIDE 152x152 MW18.7xMW18.7 WELDED WIRE FABRIC AT IN SLABS ON GRADE, OR WALKS AND 51x51 MW5.6xMW5.6 TOPPINGS 60 MM (2 1/2") IN THICKNESS OR GREATER.

3.14. PLACING CONCRETE

- 3.14.1. CONFORM TO REQUIREMENTS OF CSA A23.1. AND THE FOLLOWING:
- 3.14.1.1. IMMEDIATELY BEFORE PLACING CONCRETE, CLEAN FORMS AND REINFORCEMENT OF FOREIGN MATTER.
- 3.14.1.2. DO NOT USE CONCRETE MIXED MORE THAN TWO HOURS AFTER INTRODUCTION OF MIXING WATER.
- 3.14.1.3. DURING HOT WEATHER CONDITIONS, DO NOT USE CONCRETE MIXED MORE THAN ONE HOUR AFTER INTRODUCTION OF MIXING WATER.
- 3.14.1.4. ALLOW 24 HOURS MINIMUM AFTER PLACING CONCRETE IN COLUMNS, PIERS OR WALLS BEFORE PLACING CONCRETE IN BEAMS OR SLABS SUPPORTED THEREON.
- 3.14.2. PLACE CONCRETE ON AND STEEL DECK FLOORS IN A MANNER THAT AVOIDS PILING UP OF CONCRETE. DO NOT DROP CONCRETE DIRECTLY FROM BUCKETS, BUT EMPLOY SUITABLE MEANS OF DISTRIBUTION. WET DOWN DECK DURING HOT WEATHER PRIOR TO CONCRETING.
- 3.14.2.1. REMOVE CONCRETE SPILLED ONTO FORMS AROUND HOISTING EQUIPMENT BEFORE DEPOSITING CONCRETE IN THESE AREAS.

3.15. CURING CONCRETE

- 3.15.1. CURE ALL CONCRETE IN ACCORDANCE WITH CSA A23.1, THE CONCRETE SUPPLIERS REQUIREMENTS AND AS SPECIFIED HEREIN.

3.16. PROTECTION

- 3.16.1. CONFORM TO THE REQUIREMENTS OF CSA A23.1. PROTECT FRESHLY DEPOSITED CONCRETE FROM FREEZING, PREMATURE DRYING AND EXTREMES OF TEMPERATURE. MAINTAIN CONCRETE WITH MINIMAL MOISTURE LOSS AT A RELATIVELY CONSTANT TEMPERATURE FOR THE PERIOD OF TIME NECESSARY FOR THE HYDRATION OF THE CEMENT AND TO ACHIEVE THE SPECIFIED STRENGTH OF THE CONCRETE.
- 3.16.2. PROVIDE SUFFICIENT INSULATION, AND HEAT AS NECESSARY, TO PREVENT FREEZING OF FROST SUSCEPTIBLE SOIL WHICH LIES AGAINST STRUCTURAL ELEMENTS; IN PARTICULAR PROTECT SOIL BENEATH FOOTINGS AND BEHIND FOUNDATION WALLS UNTIL THE BUILDING IS COMPLETED.
- 3.16.3. CRACK REPAIR: PRIOR TO COMPLETION OF THE PROJECT AND IN ANY CASE NOT SOONER THAN 28 DAYS AFTER CONCRETE HAS BEEN PLACED, EXAMINE CONCRETE FLOOR SURFACES AND REPAIR ALL MAJOR CRACKS IN THEM. ROUT CRACKS OUT WITH MECHANICAL ROUTER TO 13 MM (1/2") SQUARE APPROXIMATE CROSS SECTION. THEN CLEAN AND FILL CRACKS IN SAME MANNER AS SAW CUTS IN SLAB ON GRADE.

4. POST-INSTALLED ANCHORS

- 4.1. EXCEPT WHERE INDICATED ON THE DRAWINGS, POST-INSTALLED ANCHORS SHALL CONSIST OF THE FOLLOWING ANCHOR TYPES AS PROVIDED BY HILTI (CANADA) CORPORATION.
- 4.1.1. ANCHORAGE TO CONCRETE
- 4.1.1.0.1. ADHESIVE ANCHORS FOR CONCRETE USE:
- 4.1.1.0.1.1. HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HIT-Z ROD FOR FAST CURE APPLICATIONS.
- 4.1.1.0.1.2. HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT SYSTEM FOR FAST CURE APPLICATIONS.
- 4.1.1.0.1.3. HILTI HIT-RE 500-SD EPOXY ADHESIVE ANCHORING SYSTEM FOR SLOW CURE APPLICATIONS.
- 4.1.1.0.1.4. HILTI HIT-RE 500 EPOXY ADHESIVE ANCHORING SYSTEM FOR SLOW CURE APPLICATIONS.
- 4.1.1.0.1.5. STEEL ANCHOR ELEMENT SHALL BE HILTI HIS-N INTERNALLY THREADED INSERTS, HILTI HAS-E CONTINUOUSLY THREADED ROD, OR CONTINUOUSLY DEFORMED STEEL REBAR.
- 4.1.2. MEDIUM DUTY MECHANICAL ANCHORS FOR CONCRETE USE:
- 4.1.2.1. HILTI KWIK HUS EZ AND KWIK HUS EZ-I SCREW ANCHORS.
- 4.1.2.2. HILTI KWIK BOLT-TZ EXPANSION ANCHORS.
- 4.1.2.3. HILTI KWIK BOLT 3 EXPANSION ANCHORS.
- 4.1.3. HEAVY DUTY MECHANICAL ANCHORS FOR CONCRETE USE:
- 4.1.3.1. HILTI HDA UNDERCUT ANCHORS.
- 4.1.3.2. HILTI HSL-3 EXPANSION ANCHORS.
- 4.1.4. REBAR DOWELING INTO CONCRETE
- 4.1.4.1. ADHESIVE ANCHORS FOR CRACKED AND UNCRACKED CONCRETE USE:
- 4.1.4.1.1. HILTI HIT-HY 200 SAFE SET SYSTEM WITH HILTI HOLLOW DRILL BIT SYSTEM WITH CONTINUOUSLY DEFORMED REBAR.
- 4.1.4.1.2. HILTI HIT-RE 500-SD EPOXY ADHESIVE ANCHORING SYSTEM WITH CONTINUOUSLY DEFORMED REBAR.
- 4.1.4.1.3. HILTI HIT-RE 500 EPOXY ADHESIVE ANCHORING SYSTEM WITH CONTINUOUSLY DEFORMED REBAR.
- 4.2. ANCHOR CAPACITY USED IN DESIGN HAS BEEN BASED ON THE TECHNICAL DATA PUBLISHED BY HILTI. SUBSTITUTION REQUESTS FOR ALTERNATE ANCHORS MUST BE APPROVED IN WRITING BY THE CONSULTANT PRIOR TO USE. CONTRACTOR SHALL PROVIDE CALCULATIONS DEMONSTRATING THAT THE ALTERNATIVE ANCHOR IS CAPABLE OF ACHIEVING THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT.

SUBSTITUTIONS WILL BE EVALUATED FOR COMPLIANCE WITH THE RELEVANT BUILDING CODE. ADHESIVE ANCHOR EVALUATION WILL ALSO CONSIDER CREEP, IN-SERVICE TEMPERATURE AND INSTALLATION TEMPERATURE.

- 4.3. INSTALL ANCHORS PER THE MANUFACTURER WRITTEN INSTRUCTIONS.
- 4.4. OVERHEAD ADHESIVE ANCHORS MUST BE INSTALLED USING THE HILTI PROFI SYSTEM.
- 4.5. THE CONTRACTOR SHALL ARRANGE AN ANCHOR MANUFACTURER'S REPRESENTATIVE TO PROVIDE ONSITE INSTALLATION TRAINING FOR ALL OF THEIR ANCHORING PRODUCTS SPECIFIED. THE CONSULTANT MUST RECEIVE DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO INSTALL ANCHORS ARE TRAINED PRIOR TO THE COMMENCEMENT OF INSTALLING ANCHORS.
- 4.6. ANCHOR CAPACITY IS DEPENDANT UPON SPACING BETWEEN ADJACENT ANCHORS AND PROXIMITY OF ANCHORS TO EDGE OF CONCRETE. INSTALL ANCHORS IN STRICT ACCORDANCE WITH SPACING AND EDGE CLEARANCES INDICATED ON THE DRAWINGS.
- 4.7. EXISTING REINFORCEMENT IN THE CONCRETE STRUCTURE MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS. UNLESS NOTED ON THE DRAWINGS THAT THE BARS CAN BE CUT, THE CONTRACTOR SHALL REVIEW THE EXISTING STRUCTURAL DRAWINGS AND SHALL UNDERTAKE TO LOCATE THE POSITION OF THE EXISTING REINFORCEMENT AT THE LOCATIONS OF THE CONCRETE ANCHORS, BY HILTI FERROSCAN, HILTI PS 1000, GPR, X-RAY, CHIPPING OR OTHER MEANS.

5. NOTIFICATION

- 5.1. PRIOR TO COMMENCING SIGNIFICANT SEGMENTS OF THE WORK, GIVE THE CONSULTANT AND INDEPENDENT INSPECTION AND TESTING COMPANIES APPROPRIATE NOTIFICATION (MINIMUM 24 HOURS) SO AS TO AFFORD THEM REASONABLE OPPORTUNITY TO REVIEW THE WORK. FAILURE TO MEET THIS REQUIREMENT MAY BE CAUSE FOR THE CONSULTANT TO CLASSIFY THE WORK AS DEFECTIVE.

DEFECTIVE MATERIALS AND WORK

- 6.1. WHERE EVIDENCE EXISTS THAT DEFECTIVE WORK HAS OCCURRED OR THAT WORK HAS BEEN CARRIED OUT INCORPORATING DEFECTIVE MATERIALS, THE CONSULTANT MAY HAVE TESTS, INSPECTIONS OR SURVEYS PERFORMED, ANALYTICAL CALCULATIONS OF STRUCTURAL STRENGTH MADE, AND THE LIKE, IN ORDER TO HELP DETERMINE WHETHER THE WORK MUST BE CORRECTED OR REPLACED. TESTS, INSPECTIONS, SURVEYS, OR CALCULATIONS CARRIED OUT UNDER THESE CIRCUMSTANCES WILL BE MADE AT THE CONTRACTOR'S EXPENSE, REGARDLESS OF THEIR RESULTS, WHICH MAY BE SUCH THAT, IN THE CONSULTANT'S OPINION, THE WORK MAY BE ACCEPTABLE.
- 6.2. ALL TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING CODE, EXCEPT WHERE THIS WOULD, IN THE CONSULTANT'S OPINION, CAUSE UNDUE DELAY OR GIVE RESULTS NOT REPRESENTATIVE OF THE REJECTED MATERIAL IN PLACE. IN THIS CASE, THE TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH THE STANDARDS GIVEN BY THE CONSULTANT.
- 6.3. MATERIALS OR WORK, WHICH FAIL TO MEET SPECIFIED REQUIREMENTS, MAY BE REJECTED BY THE CONSULTANT WHENEVER FOUND AT ANY TIME PRIOR TO FINAL ACCEPTANCE OF THE WORK REGARDLESS OF PREVIOUS INSPECTION. IF REJECTED, DEFECTIVE MATERIALS OR WORKMANSHIP SHALL BE PROMPTLY REMOVED AND REPLACED OR REPAIRED TO THE SATISFACTION OF THE CONSULTANT, AT NO EXPENSE TO THE OWNER.

STRUCTURAL NOTES

DRAWING TITLE

STAMP

SCALE:

PROJECT

WASACA RIVERWOODS
RETAINING WALLS

RIVER ROAD WEST
WASACA BEACH, ONTARIO

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SEP. 16/22

PROJECT NO.

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